



ANOTHER DENNIS FAMILY COMMUNITY


Siting & Design Guidelines


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MASTERPLAN

 Lots covered by the Precinct Two
Modeina Siting and Design Guidelines

 Medium Density lots not covered
by the Precinct Two Modeina Siting
& Design Guidelines
(subject to further planning approvals)

 Lots covered by the Precinct One
Modeina Siting and Design Guidelines



1. URBAN DESIGN GUIDELINES

1.1 Vision for Modeina

Offering a unique lifestyle to all those lucky enough to be part of the Modeina community, this development has been designed as a contemporary expression of a modern lifestyle – balancing smart urban amenity with traditional family values.

The Modeina community will eventually be 3,000 residents strong. Residents will enjoy walking and relaxing around nearly 2.5 kilometres of natural creek frontage, gathering at the park and social areas, and tending gardens and dwellings designed and built to the highest standards. From beginning to end, Modeina is set to be the very essence of a modern Australian lifestyle.

1.2 Aim of the Design Guidelines

The aim of the guidelines is to achieve a high standard of dwelling design with an identifiable degree of visual cohesion.

All development at Modeina must comply with these guidelines. In exceptional circumstances variations to the guidelines will be considered provided there is a positive contribution to the Modeina vision.

A registered Memorandum of Common Provisions (MCP) is applicable to all lots at Modeina. The MCP will simplify the process of securing building approval by putting in place a common set of rules that will take precedence over certain sections of the Building Regulations and set out the requirements for compliance with these guidelines.

The MCP will remove your obligation to secure Report and Consent approval from the City of Melton for certain design items that do not comply with the Building Regulations.

As required by the MCP, all purchasers of lots must have their plans approved by the Design Review Panel (DRP) whose approval may be withheld in its absolute discretion notwithstanding compliance with the guidelines.

Early contact with the DRP is encouraged so that unnecessary delay is avoided.

Only a Registered Building Surveyor can issue a building permit and building approval can only be granted on the plans approved by the DRP.

The DRP reserves its rights to withdraw approval if changes to the design, materials and colour schedule are not submitted to the DRP for approval and the dwelling is not constructed in accordance with the DRP approved plans.

As required in your contract of sale, the construction of a dwelling must commence within 12 months of settlement of the lot and be completed within 24 months of settlement.

Modeina Siting and Design Guidelines (Guidelines) and the MCP do not take the place of the Building Regulations and Planning Scheme.

Purchasers of lots at Modeina should contact their Registered Building Surveyor to ensure dwelling designs comply with these requirements.

Purchasers should be aware that failure to construct in accordance with plans approved by the DRP will result in;

- a) Breach of the land sale contract with the vendor and
- b) Breach of the Notice of Restriction created in the Plan of Subdivision.

2. DWELLING AND FRONT GARDEN APPROVAL PROCEDURE

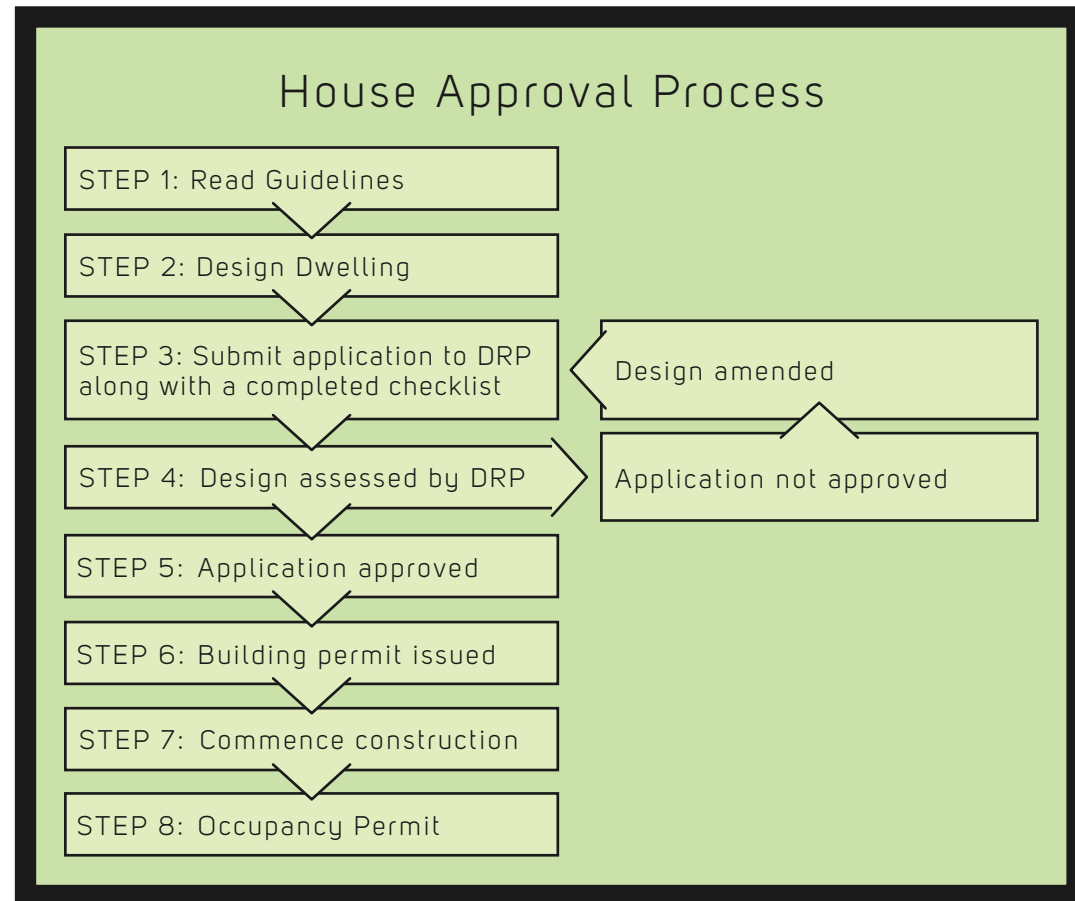
2.1 Dwelling Approval

Dwelling approval is at the discretion of the DRP.

No claims can be made against the Council, DFC (Project Management) Pty Ltd (the Developer), their associated entities or their nominated representative with respect to any decision of the DRP or actions taken by purchasers in connection with the Guidelines.

Construction of dwellings, fences and garages on any lot at Modeina cannot commence until the DRP has approved plans and building approval has been issued.

The process is illustrated in the diagram on the right.



2. DWELLING AND FRONT GARDEN APPROVAL PROCEDURE

2.2 Garden Approval

All landscaping within front gardens must comply with the design standards set out in Section 13 of these Guidelines.

A Front Garden Landscape Package may be offered at Modeina (the Garden Package). The Garden Package includes front landscaping and 12 months maintenance by a qualified landscape gardener appointed by the Developer.

In cases where the Garden Package is not available or the purchaser chooses not to accept the Garden Package, landscaping to the front garden is to be undertaken by the purchaser at their cost and within the timeframes outlined in the section.

The application process for approval of the front garden landscaping is illustrated in the diagram over the page. The approval process for the landscaping differs depending on whether an offer of a Garden Package has been accepted or not.

Under the Garden Package a garden design must be selected from the eight designs within the Garden Design Brochure. If the first preference is located adjacent or directly opposite a constructed or previously endorsed garden of the same style, the first preference may not be supported.

Front gardens must be installed within 90 days of the issue of the Occupancy Permit,

unless this is issued between 1 November and 31 January in which case this landscaping must be completed by no later than 30 April (allowing for landscapes to be installed outside of the summer months).

2. DWELLING AND FRONT GARDEN APPROVAL PROCEDURE

Approval Process under the Garden Package

STEP 1: Select 1st and 2nd Garden Design Preferences

STEP 2: Submit preferences to DRP with application form and completed checklist
No later than 60 days prior to anticipated issue of occupancy permit

STEP 3: DRP endorses garden design

STEP 4: Compliance with design guidelines confirmed

STEP 5: Front garden landscaped

Approval Process for Gardens not landscaped by Developer

STEP 1: Submit garden design to DRP with application form and completed checklist
No later than 60 days prior to anticipated issue of occupancy permit.
If you are selecting your garden from the Garden Design Brochure you must select your 1st and 2nd preference.

Design amended

STEP 2: DRP endorses garden design

Application not approved

STEP 3: Compliance with design guidelines confirmed

STEP 4: Application Approved

3. URBAN DESIGN PRINCIPLES

3.1 Building Envelopes

All lots are affected by a Building Envelope Plan. Details of the building envelopes are contained within the Plan of Subdivision. Development of lots must be in accordance with the Building Envelope Plan.

3.2 The Principal Street Frontage

For lots with only one street frontage, the Principal Street Frontage shall be that frontage. For lots with two street frontages, the shorter street frontage shall be the Principal Street Frontage and the other street frontage is the Secondary Street Frontage. If the two street frontages are of equal length, then the purchaser should contact the DRP to determine which frontage shall be designated the Principal Street Frontage.

3.3 Architectural Style, Design and Materials

The design vernacular for Modeina is new contemporary Australia. Second hand or kit dwellings will not be approved.

All external walls including the façade addressing the Principal Street Frontage (**Principal Façade**) must be constructed of contemporary materials as approved by the DRP

3.4 Principal Façade

The Principal Façade of the dwelling is a key element that contributes to the vision of Modeina and accordingly, must demonstrate careful design and material composition. Decorative elements

such as finials, fretwork, wrought iron, ornate timber works, turned posts etc. will only be considered when part of an approved architectural design.

The Principal Façade must be articulated to prevent a flat and uninteresting interface with the public domain and comprise at least 2 different materials. Any one material cannot comprise more than 70% of the area of the Principal Façade. The use of render of different colours will not be deemed to satisfy this requirement.

Subject to the architectural design, eaves of at least 0.45 metres are required for the Principal Façade, including roofs above the entrance portico and the full length of the façade addressing the Secondary Street Frontage or public space.

Eaves must wrap around the other corners addressing the Principal Street Frontage by at least 3 metres.

No light weight infill panels over windows, doors and garage doors will be allowed that are visible from any road or public reserve. This applies to all sides of the building façade.

All dwellings must address the Principal Street Frontage and present a visible and identifiable entrance to the street. Habitable room windows should orientate to the Principal Street Frontage.

Features which may detract from the appearance of a dwelling from the street, including blank walls, small windows, obscure and or reflective, frosted or patterned film, window security shields, canvas and metal awnings, will not be approved.

Window security on the principal façade and the façade on the Secondary Street Frontage may be considered for approval by the DRP, whose consent may be withheld in its absolute discretion, provided the colour and style complements the dwelling, there is a high level of transparency, and the window security is inconspicuous when installed.

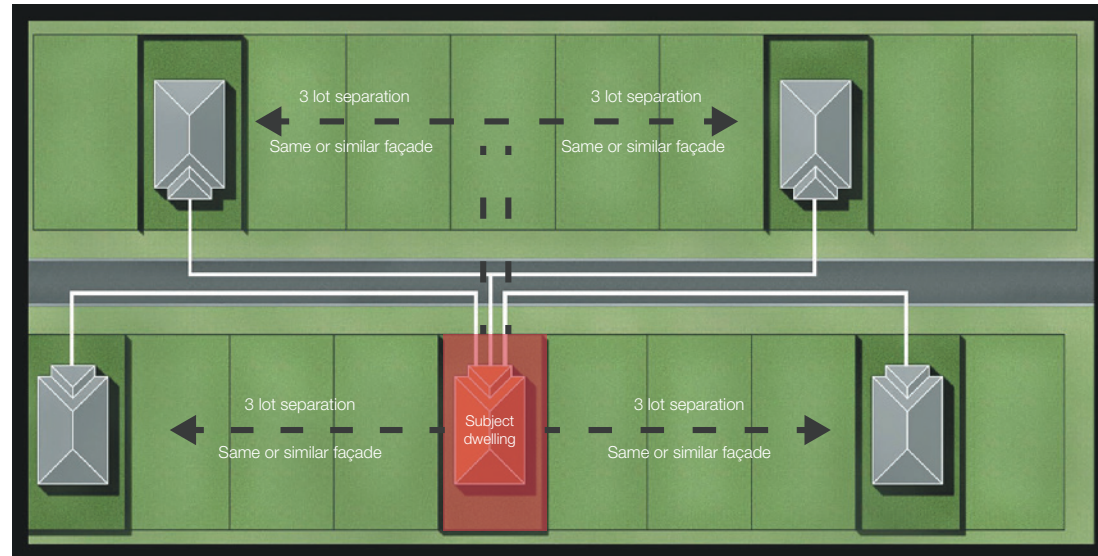
3. URBAN DESIGN PRINCIPLES

3.4 Principal Façade Cont.

Tinted glass on windows cannot be installed without prior approval of the DRP.

A dwelling must not have a Principal Façade design that is the same or very similar to that of a dwelling within 3 lots either side or on the opposite side of the street. As illustrated in the diagram here.

Where a conflict arises preference will be given to the first submitted set of plans.



3. URBAN DESIGN PRINCIPLES

3.5 Roof Design

A minimum roof pitch of 22.5 degrees is required for two storey dwellings and associated garages.

A minimum roof pitch of 25 degrees is required for single storey dwellings and associated garages.

A reduced roof pitch will only be considered when part of an exceptional architectural design or concealed behind a parapet wall.

Roof designs that present a gable end to the Principal Street Frontage as part of a varied roof design are permitted. Dominating gable ends will not be approved. The approval of gable end designs is at the discretion of the DRP.

3.6 Number of Dwellings per Lot

Only one dwelling may be constructed on a lot.

3.7 Building Setbacks

Building setbacks vary and must comply with the Building Envelope Plan. Typical building setbacks are illustrated in the diagram on the facing page.

3.8 Front Setback

Unless otherwise shown on the Building Envelope Plan, a minimum setback of 4 metres is required between the Principal Street Frontage and the closest part of the dwelling (Front Building Line). Porticos, bay windows, balconies and other elements specified in the MCP will be permitted to encroach up to 1.5 metres into the front setback.

The maximum setback between the Front Building Line of the dwelling and the Principal Street Frontage is 6 metres, unless otherwise approved by the DRP.

On corner lots, a setback of 2 metres to the Secondary Street Frontage is required unless shown otherwise on the Building Envelope Plan.

Garages must be set back a minimum of 5.5 metres from the Principal Street Frontage and at least 0.5 metres behind the Front Building Line of the dwelling unless the dwelling is 2 storey and incorporates a substantial balcony or is articulated at the second storey to the satisfaction of the DRP.

If these elements are incorporated, the garage may be permitted to be constructed in line with the Front Building Line of the dwelling but no closer than 5.5 metres to the Principal Street Frontage. Under these circumstances, the balcony, verandah or portico will be permitted to encroach up to 1.5 metres, within the 5.5 metre setback.

3.9 Side and Rear Setbacks

Unless otherwise shown on a Building Envelope Plan the rear setbacks must be a minimum of 2.5 metres.

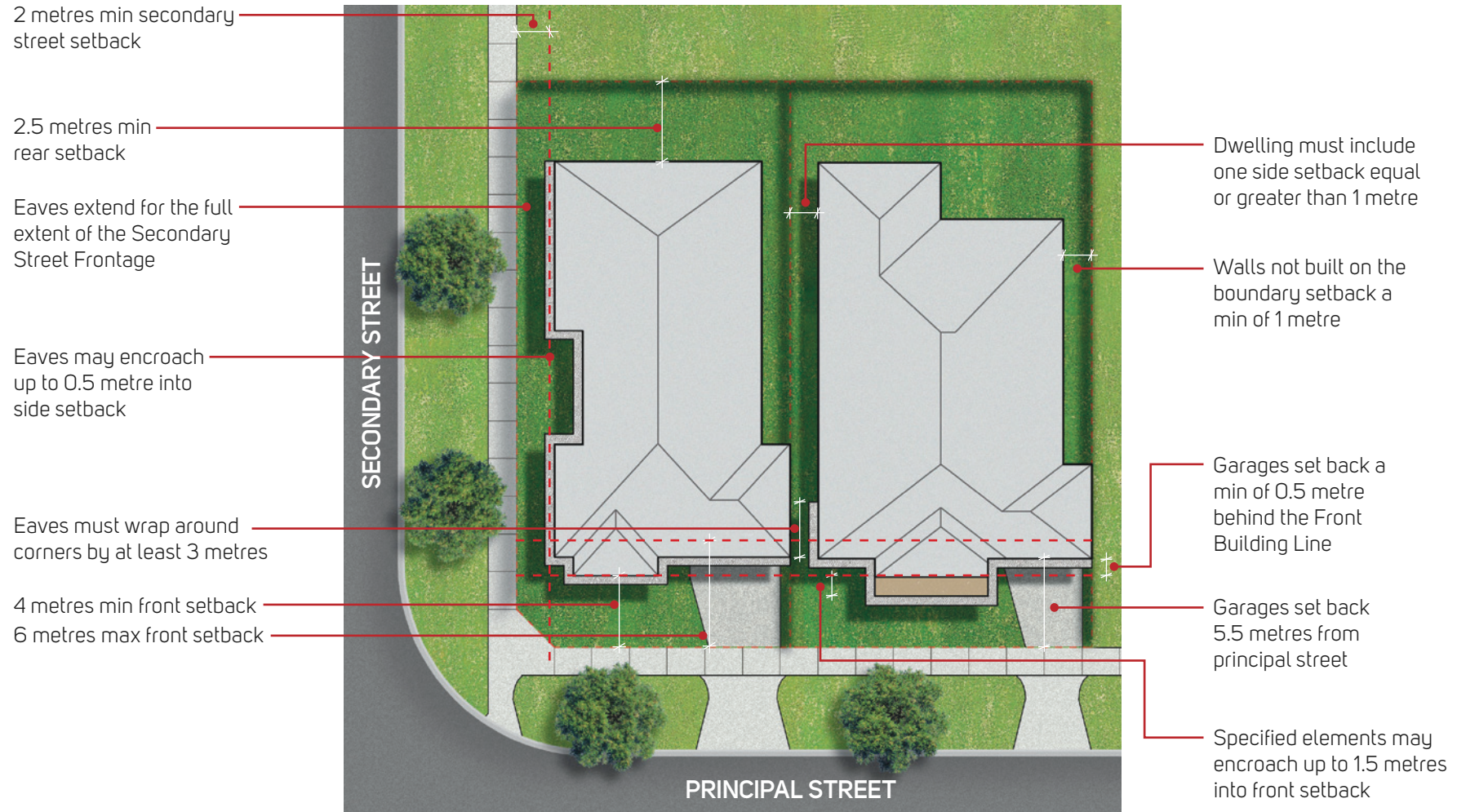
Garage and other walls which are not directly on a boundary are to be set back a minimum of 1 metre.

Sun blinds, shade sails, verandahs, porches, porticos, pergolas, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic water tanks, and heating or cooling equipment or other services, landings with an area of not more than two square metres and less than 1 metre high, and unroofed stairways and ramps, may encroach up to 0.5 metres into the side and/or rear setback subject at all times to any limitation associated with easements located within the lot as well as the requirements of any party gaining the benefit of the easement.

Walls on boundaries are encouraged for garages in order to maximise the front garden area.

Where there is two or more side boundaries marked "O or 1" on the Building Envelope Plan, only one Side Boundary can be built to the boundary.

3. URBAN DESIGN PRINCIPLES



3. URBAN DESIGN PRINCIPLES

3.10 Garages and Driveways

Carports are not permitted.

Garage doors must comply with the following maximum widths.

Principal Street Frontage width	Maximum garage doors widths
Less than 12.5 metres	2.6 metres
Between 12.5 metres and 14 metres	5.5 metres
14 metres or greater	6 metres

Note: If lot shape is irregular, the frontage measurement can be taken at a 4-6m setback from the front boundary. (Irregular Lots: Lots whereby a difference in front and rear boundary width occurs).

Garage doors that do not meet these requirements will only be approved in cases where the DRP deems that the Principal Façade is not negatively affected.

Two storey dwellings on lots less than 12.5 metres may include garage doors wider than 2.6 metres, but not greater than 5.5 metres, if the Principal Façade incorporates a substantial balcony or is articulated at the second storey to the satisfaction of the DRP.

Triple garages are only permitted on lots with a minimum 18m frontage, subject to approval of the DRP in its absolute discretion. There must be an additional 0.5 metre setback to the third garage and associated roof form.

3.11 Driveways and Parking

Only one driveway will be permitted for each lot.

The driveway width must match the crossover width at the title boundary.

A 500mm landscaped buffer must be installed between the driveway and the title boundary.

Driveways and paths must not dominate the front setback.

Changes to the position of the driveway will be subject to service locations and require approval of the DRP (whose approval can be withheld in its absolute discretion) and the City of Melton.

Permission to relocate the driveway must be sought as part of the dwelling approval application under these Guidelines.

The purchaser is responsible for all costs associated with removing the existing crossover, constructing the new crossover (including reinstating the landscaping in the affected area) and meeting any requirements of the City of Melton.

Driveways are a major element in the built environment and therefore the location, extent, material and colour of the driveways and any paths should be carefully considered so as to complement the Principal Façade of the dwelling and the streetscape.

Driveways and paths must be clearly identified on the plans submitted to the DRP for approval. Failure to provide this information could result in plans not being assessed or approved by the DRP.

Approved finishes include:

- Exposed aggregate concrete finishes, or
- Coloured concrete.

Plain uncoloured concrete will not be permitted.

The Developer will not commence landscaping under the Garden Package until the driveway is constructed.

The purchaser is to provide a 90mm PVC stormwater pipe 1 metre behind the title boundary for irrigation connection under the driveway.
(see Plan in Section 12)

The parking of commercial and utility vehicles including trucks, vans, trailers, boats and caravans are to be accommodated within or behind the garage and must not be visible from the street.

4. CORNER LOTS

Dwelling façades on corner lots must comply with the requirements of Section 3.4 and be designed to provide articulation to the roof and walls of the Secondary Street Frontage. The use of consistent architectural elements across these façades will be required.

Architectural elements used in the Principal Façade must be replicated within the first 4 metres of the Secondary Street Frontage. Other alternate treatments may be submitted to the DRP for consideration.

Flat facades and blank brick walls must be avoided. Designs which do not satisfactorily address both Principal and Secondary Street Frontages will not be approved by the DRP.

Elements such as porticos, verandahs, and approved feature elements may encroach into the Secondary Street setback up to 1.5 metres.

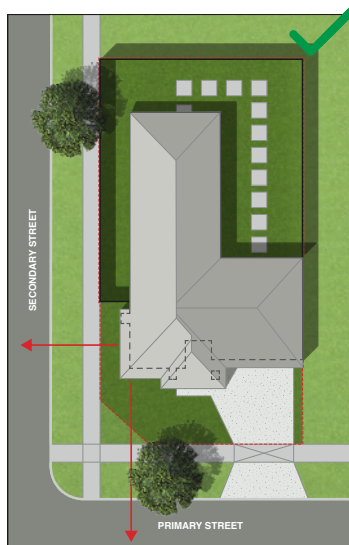
Habitable room windows must orientate to the Principal and Secondary Street Frontages. External services must not be visible from a street or public space. The use of highlight windows should be avoided if possible.

Eaves are required for the full length of the dwelling addressing the Secondary Street Frontage.

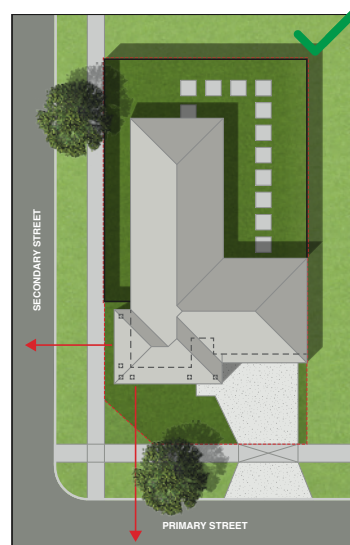
The main entry of the dwelling must address the Principal Street Frontage.

The following diagrams illustrate acceptable and unacceptable corner solutions.

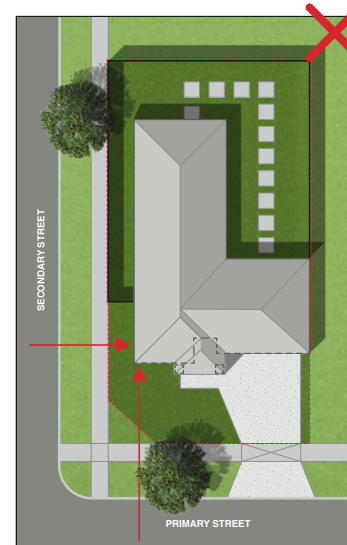
If in doubt about whether your design will comply with corner lot requirements, it is strongly recommended that you submit a preliminary design to the DRP for comments and advice.



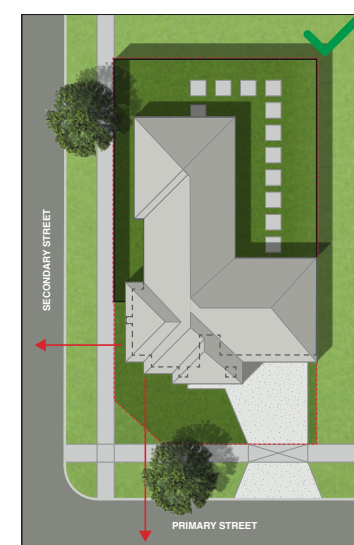
Aligned and corner bay windows help address both street frontages



Utilise wrap around verandahs



Flat facade does not address the primary and secondary street frontages



Design for a stepped facade



5. LANDMARK LOTS

Lots designated "LL" on the Building Envelope Plan referred to in the Plan of Subdivision, are Landmark Lots (LL) and present an opportunity to illustrate Modeina's unique lifestyle opportunity and the quality of the architecture and urban environment.

These lots can be located on street corners, adjacent to park land or the Kororoit Creek or are simply highly visible from within and from outside the development.

Consequently, particular attention must be paid to the design and siting of dwellings on these lots.

In addition to any other requirement of these Guidelines, the ground floor ceiling height must be at least 2.7 metres for single storey dwellings.

Dwellings on Landmark Lots must incorporate the following into the Principal Façade:

- A balcony addressing the Principal Street Frontage at the first floor level, if the dwelling is a 2 storey building
- Articulation with projected and recessed building elements, verandahs or awnings to create visual interest to buildings

Dwellings on Landmark Lots, where possible, should incorporate the following into the Principal Façade:

- Extensive windows at ground and first floor
- Living areas with large windows at either ground or first floor level if the building is a 2 storey building.

Corner lots, which are Landmark Lots, must also comply with the requirement of Section 4.



The Churchill by Dennis Family Homes.

6. MATERIALS & COLOURS

The materials and colours of the external walls and roofs of dwellings will have a major impact on the visual quality of Modeina.

The preferred colour palette for use at Modeina is earth tones. Vibrant colours are not permitted for use in the facade or body of the dwelling, roofing or for fencing. Colours used to accentuate architectural elements, may be considered by the DRP.

Trim colours must complement the main body of the dwelling.

Gutter and downpipe colours are to match roof colour or complement the main body of the dwelling.

Fences must not be painted with vibrant colours.

Darker roofs are required as they anchor the building to the ground plane, blending a sense of dignity and smartness to the appearance of the development.

Walls of dwellings must be constructed of contemporary materials. Other materials may be considered by the DRP, in its absolute discretion.

Special emphasis, (eg. feature panels, rendered finishes etc), must be placed on the elevations that address streets and public spaces.

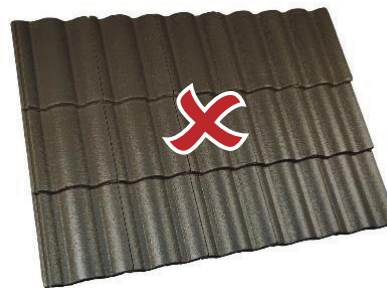
Any one material cannot comprise more than 70% of the area of the Principal Façade. The use of render of different colours will not be deemed to satisfy this requirement.

Roof materials must be a matt finish shingle style or low profile cement or terracotta tile, slate, or matt finish powder coated metal.

Galvanised steel roofs, vivid or light colours, coved or shaped tiles, such as those illustrated below, will not be permitted.

Garage doors are a major visual element of the streetscape. Accordingly, doors facing the street are required to be panel lift or sectional, of slim-line profile, and must be of a material and colour which complements the dwelling.

Plans submitted to the DRP for approval must include a schedule of wall, trim and roof materials and colours. The Australian Standard Reference Number for the colour selected must be included for identification.



7. FENCING & RETAINING WALLS

7.1 General

Fencing is the obligation of the lot owner and must be completed within 60 days of occupation.

In some cases, the Developer will construct Feature Fencing on lot boundaries that are highly visible from within and from outside the development. Feature Fencing is designated on the Building Envelope Plan.

Lot owners cannot remove or change the appearance of feature fences without the written approval of both the DRP and the City of Melton and will be responsible for maintaining these fences in good order.

7.2 Retaining Walls

Retaining walls facing the Principal or Secondary Street Frontages cannot be constructed without the prior approval of the DRP.

Timber sleeper retaining walls are not permitted where their height exceeds 200mm and are visible from the street or public space. Materials permitted include bricks, rendered masonry and feature stone.

7.3 Front Fences

No front fence is permitted.

7.4 Side and Rear Fences

Unless otherwise specified, all side and rear fences must be timber paling, capped and lapped with 150mm plinth board and 125mm by 125mm exposed posts as illustrated below. The fence cannot exceed 1.98 metres in height. Side boundary fences must be setback 1 metre behind the Front Building Line. Side wing fencing and gates must compliment the height and style of the fencing.

7.5 Corner Lot Fences

On corner lots the fence along the Secondary Street Frontage must; be setback from the Front Building Line by a minimum of 4 metres, comply with the side and rear fencing requirements, and cannot form part of any retaining wall. This fence must conceal any hot water unit, heating, air conditioning or other plant and equipment.



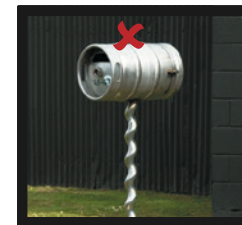
Illustration of typical side and rear fence.

8. LETTERBOXES

Letterboxes must be positioned on the front boundary adjacent to the driveway clear of obstructions with the dwelling number clearly displayed. It must be a contemporary column design that should be carefully selected to complement the Principal Façade of the dwelling.

Temporary, single post supported or ornamental letterboxes comprised of multiple materials will not be permitted.

The location, style and colour of the letterbox must be provided on the plans submitted for approval. Installation of a compliant letterbox will be required for landscaping to commence.



9. EXTERNAL FIXTURES AND SERVICES

The position of the following external fixtures must achieve the objectives stated below and be shown on plans submitted for approval.

9.1 Clotheslines and Garden Sheds

Clotheslines and garden sheds must not be visible from the street or public spaces.

9.2 Roof Mounted Solar Hot Water and Photovoltaic Panels

These panels must not be mounted facing the Principal Street Frontage. However, on corner lots panels may be located on the roof facing the Secondary Street Frontage.

9.3 External Hot Water Services and Ducted Heating Units

These units must not be visible from the street or public spaces.

9.4 Television Antennae

Free-to-Air TV services are available with Opticomm fibre optic network. An external TV antennae should not be necessary.

If a television antennae is required it must be located within the roof of the dwelling.

9.5 Satellite Dishes

Satellite dishes must not be visible from the street or public spaces.

9.6 Air-conditioning and Evaporative Cooling Units

Air-conditioning/condenser units must be located below the fenceline, screened from public view and be suitably baffled to reduce noise.

Evaporative cooling units must be located below the roof ridgeline and at the rear of the dwelling, be low profile/sloping base and the colour must match the roof colour.

9.7 Signage

The promotion of dwellings for sale and the advertising of builders during the construction of a dwelling will be limited to one sign for each property unless the DRP gives prior approval.

9.8 Garbage Bins

Garbage bin storage is to be provided for each dwelling out of public view.

9.9 Rainwater Harvesting Tanks

Rainwater harvesting tanks should be below the eave line and not be visible from any street or other public space and are to be a material and colour which complement the dwelling.

10. TELECOMMUNICATIONS

Modeina will be provided with "fibre to the home" high speed broadband infrastructure via an agreement with OptiComm. This agreement offers access to high speed broadband internet, telephone, digital "free to air" television and pay television as well as possible future services such as IPTV, home security, video on demand and more.

It is important to ensure that your dwelling is capable of connecting to the OptiComm fibre network and your dwelling is wired to enable the delivery of the digital services available.

Details on how to correctly wire your dwelling and the process for arranging connection to the Opticomm fibre network are available at:

Web: www.opticomm.net.au

Phone: 1300 137 800

Email: info@opticomm.net.au

Connection to a copper wire phone network is not available.

The fibre cable will be installed in the street however it is necessary for you to arrange for

the extension of the cable to your dwelling and for there to be an appropriate connection. This will require a wiring configuration which is consistent with these services and which may require a dedicated power supply for the telecommunications equipment.

11. MAINTENANCE AND BUILDER DEBRIS

Vacant allotments must be regularly maintained. This includes but is not limited to the following:

- Mowing of grass including nature strips/verges, including the Secondary Street Frontage of corner allotments;
- Removal of litter, rubbish and other debris.

The City of Melton Local Law for building sites requires all building debris to be contained within the title boundaries and within a refuse receptacle with a fixed, closed lid. You must ensure your builder complies with this Local law and empties them immediately they are full.





12. LANDSCAPING



The vision for Modeina emphasises the quality of the landscaped parks, streetscapes and gardens. Appropriate front garden design, material and plant selection therefore forms an integral part of the overall neighbourhood character.

12.1 Front Garden Landscaping

All landscaping within front gardens must comply with the design standards set out in Section 13 of these Guidelines.

The Developer may offer a Front Garden Landscape Package at Modeina (the Garden Package). The Garden Package includes front landscaping and maintenance by a qualified landscape gardener appointed by the Developer.

In cases where the Garden Package is not available or the purchaser chooses not to accept the Garden Package, landscaping to the front garden is to be undertaken by the purchaser at their cost and within the time frames outlined below.

You must select a garden design from the eight garden designs within the Garden Design Brochure.

The same style of garden cannot be installed directly opposite or adjacent to each other. For example, a 'Classic' garden design cannot be located next to another 'Classic' garden design.

Your first and second preference must be submitted for endorsement by the DRP. If your first preference is located adjacent or directly opposite a constructed or previously endorsed garden of the same style, your first preference may not be supported.

Front gardens must be installed within 90 days of the issue of the Occupancy Permit, unless this

is issued between 1 November and 31 January in which case this landscaping must be completed by no later than 30 April (allowing for landscapes to be installed outside of the summer months).

12.2 Selecting a Garden Design

It is important to select a garden design that will be complementary to the style of your dwelling.

You should also pay attention to the design of your dwelling and the location of windows, porch and driveway, in order to maximize views and access whilst allowing for screening and privacy. Also ensure that all components such as paths and letterboxes can be accommodated within the design.

12.3 Landscaping Prerequisites and Timing

Prior to the installation of your front garden, the following should be undertaken:

- The construction of the dwelling, has been completed in accordance with the Guidelines and the approved plans
- All rubbish, rubble, weeds and vegetation etc. has been removed
- A level grade has been provided across all areas to be landscaped
- The construction of retaining walls have been completed in accordance with the Guidelines and the approved plans

12. LANDSCAPING

- You have notified your builder of any proposed tree planting
- Installation of a garden tap and electrical point near the wing fence
- 25mm diameter PVC irrigation pipe from the tap to the Front Building Line
- A 90mm PVC stormwater pipe has been installed under the driveway, offset 1m from the front title boundary (for irrigation connection)
- Letterbox installed
- Fencing completed

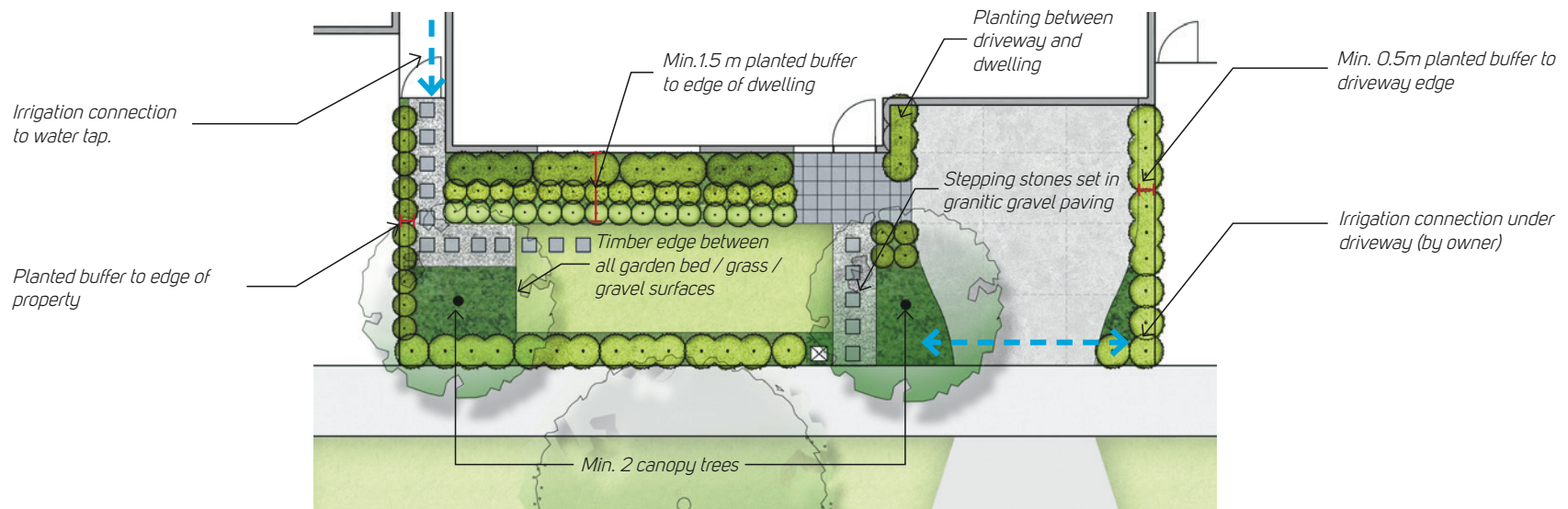
These requirements apply whether your garden is installed under the Garden Package or done by the purchaser at their own cost. In the case of the later, the DRP will not approve your garden plan until the above requirements are satisfied.

As a general rule, construction of the front gardens will not be undertaken during the summer months.

Homeowners will need to plan for and make arrangements for temporary access to their front gardens in the interim period between occupancy and completion of their front garden landscaping.

12.4 Naturestrips

The vision for Modeina is to achieve dynamic, lively and green streetscapes and therefore only grassed naturestrips will be permitted. The developer will seed naturestrips and seeding will occur once building activity has ceased to provide maximum opportunity for the seed to take.



Plan A: Standard Lot - typical minimum requirements (layout will vary depending on chosen design)

13. LANDSCAPE DESIGN STANDARDS

13.1 Minimum Garden Areas

All building designs and works must comply with the minimum garden areas requirements set out in the planning scheme (as amended from time to time) applicable to the lot.

13.2 Minimum Landscape Requirements

In addition to the minimum landscape requirements detailed in the following table, each front garden must have the following:

- 2 canopy trees (min. 1.5m high)
- Shrubs and groundcovers installed in accordance with the schedule (min. 150mm pot size diameter). Larger pot sizes may be used

- A 500mm planted buffer to the driveway edge
- 80mm depth of mulch to all garden beds (keep mulch away from base of plants)
- 200mm minimum depth of topsoil to garden beds; 100mm depth of topsoil to natural lawn areas (if lawn is used)
- An automatic irrigation system with timer connected to the water tap
- Pre-grown warm season turf (Kikuyu species or approved equivalent)

- Approved letterbox design with dwelling number attached - refer to Section 8.

On the following pages, the Landscape Design Standards outline the approved materials, mulches, lawn and plants that can be used in your front garden.

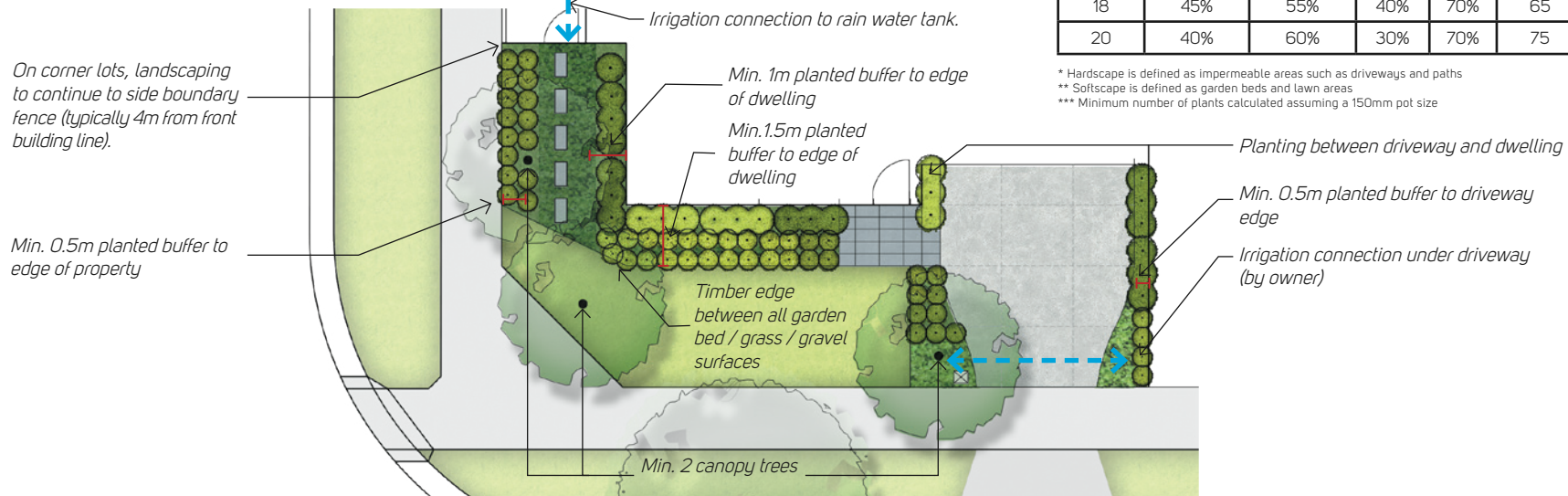
In addition to the above, the minimum requirements outlined in Plan A and Plan B below must be adhered to for all front gardens.

Lot Frontage	Hardscape*	Softscape**	Garden Beds	Lawn	Minimum No of Plants***
12.5	65%	35%	45%	55%	45
14	55%	45%	40%	60%	50
16	50%	50%	40%	60%	65
18	45%	55%	40%	70%	65
20	40%	60%	30%	70%	75

* Hardscape is defined as impermeable areas such as driveways and paths

** Softscape is defined as garden beds and lawn areas

*** Minimum number of plants calculated assuming a 150mm pot size



Plan B: Corner Lot - typical minimum requirements (layout will vary depending on chosen design)

13. LANDSCAPE DESIGN STANDARDS

13.3 Paths

Paths are to be composed of stepping stones set in granitic gravel or planting. Acceptable path materials are:

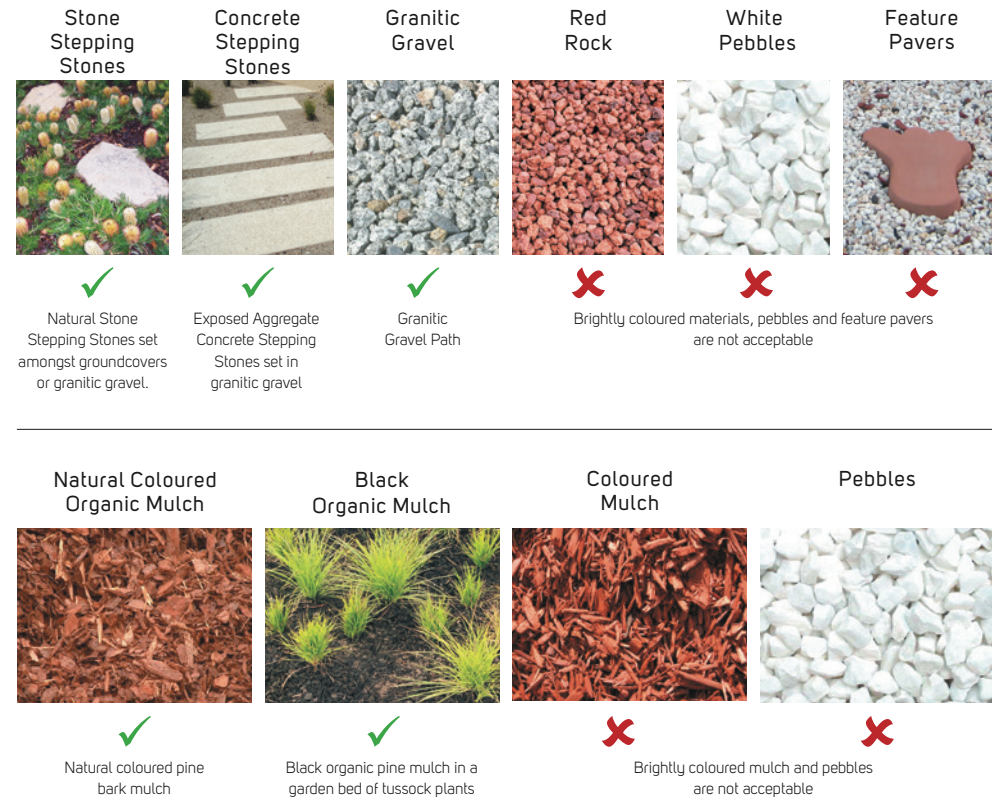
- Crushed granite (Granitic Gravel, Lilydale Toppings) - minimum 75mm compacted depth
- Precast concrete stepping stones - minimum 40mm depth
- Natural stone stepping stones - minimum 20mm depth
- Concrete matching the driveway

13.4 Mulches

A minimum 80mm mulch layer to garden beds helps to smother weeds and reduces water usage by decreasing evaporation. In the current climatic conditions, mulches are a sensible alternative to lawns. Acceptable mulch materials are as follows:

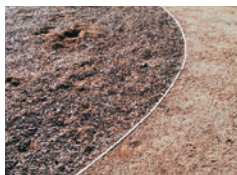
- Organic pine mulch in colours black or natural
- Natural coloured river pebbles with a size in the range of 100mm to 200mm.

Organic mulch should be recycled and sourced locally. It should be relatively fine, free from contaminants, and dark or mid-brown in colour.



13. LANDSCAPE DESIGN STANDARDS

Notched Curved
Timber Edging



Curved timber edging must be notched to create a smooth curve

Straight Timber
Edging



32mm wide timber edging creates straight, neat lines

Brick
Edging



Brick, rock, concrete, plastic or other edging are not permitted

Concrete
Edging



13.5 Garden Edging

To keep the edges of the garden beds and paths neat and easy to maintain, appropriate edging must be installed such as 25mm thick timber edging because it will not warp and become unsightly over time or metal edging which can be manipulated to create interesting shapes.

13.6 Lawn

Lawn areas are to present in a neat and tidy manner with the lawn height to be kept between 40 and 75mm. Warm season lawn (pre-grown turf) such as 'Kikuyu' species (or approved equivalent) is preferred.

Artificial lawn which presents in a natural fashion with colour and height variation may be used provided it has been specifically approved by the DRP. If you are contemplating using artificial lawn it is strongly recommended that you provide a sample to the DRP for consideration as early as possible.

'Kikuyu'
Lawn



Kikuyu lawn is hardy, low maintenance and presents well throughout the year.

Summer Premium
Artificial Lawn



Artificial lawn with height and colour variation

13.7 Irrigation

Each dwelling must have an automatic irrigation system in their front garden (timers etc. required in order for the system to function as designed). Drip emitter irrigation systems within garden beds are preferred. The irrigation system should be set on a timer for minimum water use (night operation).

13.8 Tree spacing

All trees must be a min. 5m apart and a min. 2m from the dwelling and 3m, where possible.

13. LANDSCAPE DESIGN STANDARDS

13.9 Approved Plant Species

The plant species selected for the Approved Plant Species List have been chosen for their hardiness, appropriateness to site (water requirements, soil, climate), seasonal interest and ability to complement and enhance the built form. Many of the plants are Australian natives which have the added advantage of attracting native birds.

KEY	BOTANICAL NAME	COMMON NAME	MATURE SIZE (H x W)	SPACING	ORIGIN	D/E
GRASSES & STRAPPY-LEAFED PLANTS						
ABP	Agapanthus 'Black Pantha'	Black Pantha African Lily	1 x 1	500 c/c	EX	E
ARC	Arthropodium cirratum	Matapouri Bay	0.85 x 1	400 c/c	EX	E
DCB	Dianella caerulea 'Breeze'	Breeze Flax Lilly	0.7 x 0.65	500 c/c	A	E
LNy	Lomandra 'Nyalla'	Lomandra Nyalla	0.6 x 0.5	400 c/c	A	E
LLT	Lomandra 'Tanika'	Dwarf Lomandra	0.5-0.6 x 0.6	400 c/c	A	E
OTM	Orthrosanthus multiflorus	Morning Flag	0.5 x 0.4	400 c/c	A	E
PPL	Pennisetum alopecuroides 'Purple Lea'	Fountain Grass	0.9 x 0.9	500 c/c	A	E
STR	Strelitzia reginae	Bird of paradise	1.8 x 1	750 c/c	EX	E



ABP



ARC



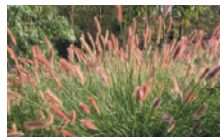
DCB



LNy



LLT



PPL



STR

FRONT GARDENS - APPROVED PLANT SPECIES LIST Note: EX = exotic, A = Australian native, D = deciduous, E = evergreen
c/c = centre to centre

13. LANDSCAPE DESIGN STANDARDS

KEY	BOTANICAL NAME	COMMON NAME	MATURE SIZE (H x W)	SPACING	ORIGIN	D/E
TREES (Installation size: 1.2-1.6m high).						
CYF	Corymbia ficifolia 'Wildfire'	Red Flowering Gum	5-6 x 3-4	as shown	A	E
CFQ	Corymbia ficifolia 'Calypso Queen'	Dwarf Red Flowering Gum	5 x 4	as shown	A	E
ECS	Eucalyptus caesia 'Silver Princess'	Silver Princess	7 x 5	as shown	A	E
ERT	Eleaocarpus reticulatus	Bleberry Ash	6-8 x 4-6	as shown	A	E
LAY	Lagerstroemia indica x L. fauriei 'Yuma'	Crepe Myrtle	3 x 4	as shown	EX	D
MCD	Michelia doltsopa	Wong-lan	12 x 4	as shown	EX	E
MXS	Magnolia x soulangeana	Tulip Magnolia	6 x 5	as shown	EX	D
MIP	Malus ioensis 'Plena'	Betchel Crab Apple	8 x 5	as shown	EX	D
MLG	Magnolia 'Little Gem'	Little Gem Magnolia	4 x 1.5	as shown	EX	E
PWG	Pyrus calleryana 'Winter Glow'	Winter Glow Pear	10 x 5	as shown	EX	D
TTL	Tristaniopsis laurina 'Luscious'	Kanooka	7-12 x 5-8	as shown	A	E



CFQ



CYF



ECS



ERT



LAY



LIN



LIT



MCD



MXS



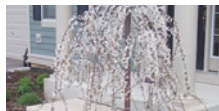
MIP



MLG



PCC



PSR



PWG



TTL

FRONT GARDENS - APPROVED PLANT SPECIES LIST Note: EX = exotic, A = Australian native, D = deciduous, E = evergreen

* And no closer than 2m to edge of building. If planting trees with roots likely to exceed 2m in diameter, please consult your builder to ensure the footings of your dwelling are adequately protected.

13. LANDSCAPE DESIGN STANDARDS

KEY	BOTANICAL NAME	COMMON NAME	MATURE SIZE (H x W)	SPACING	ORIGIN	D/E
SMALL SHRUBS/GROUNDCOVERS						
CDB	Correa 'Dusky Bells'	Dusky Bells Correa	0.7 X 1	500 c/c	A	E
BXE	Buxus sempervirens 'Blauer Heinz'	Blauer Heinh English Box	0.5 x 0.5	400c/c	EX	E
DLJ	Dianella caerulea 'Little Jess'	Blue Flax Lily	0.3-0.4 x 0.3	300 c/c	A	E
JNC	Juniperus conferta	Shore Juniper	0.6 x 1	500 c/c	EX	E
LTC	Lomandra contertifolia 'Little Con'	Little Con Lomandra	0.3 x 0.3	300c/c	A	E
MPP	Myoporum parvifolium	Creeping Boobialla	0.2 x spreading	500 c/c	A	E
OPJ	Ophiopogon japonicus	Black Mondo Grass	0.2 x 0.2	300 c/c	EX	E
TRJ	Trachelospermum jasminoides	Chinese Star Jasmine	0.4 x spreading	500 c/c	EX	E
VNM	Vinca minor	Periwinkle	0.1 x spreading	500 c/c	EX	E



CDB



BXE



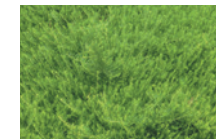
DLJ



JNC



LLK



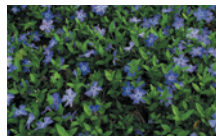
MPP



OPJ



TRJ



VNM

FRONT GARDENS - APPROVED PLANT SPECIES LIST Note: EX = exotic, A = Australian native, D = deciduous, E = evergreen

c/c = centre to centre

14. COMPLIANCE WITH THE GUIDELINES

14.1 Acknowledgement

The purchaser acknowledges that they have received a copy and read the Guidelines and the MCP and agree to comply with all terms & conditions of the Guidelines and the MCP.

14.2 Construction of Your Dwelling

In order to ensure the orderly development of the estate, the purchaser is obligated under the contract of sale to build a dwelling on the land with construction to be commenced (evidence of footing or slab) within 12 months of settlement and completed (evidence of Occupancy Permit) within 24 months of settlement.

14.3 Non Compliance

The purchaser further acknowledges that the Developer may make offers to purchasers regarding garden construction and may withdraw such offers if the following conditions are not met:

- A copy of the Occupancy Permit not has been provided to the DRP
- The dwelling was not commenced and completed in accordance with the terms of the land sale contract or as otherwise agreed
- Your dwelling and landscaping including irrigation, driveways, paths, fences and letter box has not been constructed in accordance with the Guidelines and/or the plans approved bid the DRP
- Construction waste has not been removed from any adjacent lots and public areas and any damage to public assets such as footpaths, trees, kerbs, light poles, street signs, nature strips, services resulting from the construction of your dwelling has not been rectified.

.....
Purchaser's name

.....
Purchaser's signature

Date:

15. APPLICATION FOR DWELLING DESIGN APPROVAL

Special provisions apply to the siting and design of dwellings at Modeina. The following checklist will assist in the preparation of your plans and enable consideration by the DRP.

Complete and attach a scanned copy of this coversheet and checklist to your application to the Modeina DRP.

Modeina allotment details

Lot Number.....

Street.....

Owner details

Full name.....

Mailing address.....

.....

.....

Phone BH.....

Mobile.....

Email.....

Builders Details

Contact name.....

Company.....

Mailing address.....

.....

.....

Phone.....

Email.....

Design Details (if applicable)

Dwelling type.....

Façade type.....

Owner to complete

I / We certify that the information in the attached application is a true and accurate representation of the dwelling I / We intend to construct. In the event that changes are made to the proposed plans, I / We undertake to resubmit this application for approval of such changes.

Signed

Name

Date

A set of plans, the material and colour schedule & a fully completed checklist must be submitted online to: modeinadrp@denniscorp.com.au

The DRP at Modeina welcomes enquiries about your dwelling design for Modeina and encourages you to discuss your preliminary plans to avoid unnecessary delay due to non-compliance.

All dwellings at Modeina require approval from the DRP.

If your plans comply with the Guidelines, the DRP will endeavour to approve your plans within 10 business days.

Additionally, building approval will be required from a Registered Building Surveyor.

Contact details of your Registered Building Surveyor along with a copy of your building approval (including plans) are to be provided to the DRP no later than 5 business days prior to the commencement of works.

15. APPLICATION FOR DWELLING DESIGN APPROVAL

To be submitted with the Design Approval Form,
Site Plan (1:200 scale) showing:

A completed checklist of below items

- ☐ Street address and lot details
- ☐ Title boundaries and easements
- ☐ Finished floor levels
- ☐ Private open space
- ☐ North point
- ☐ Building envelope
- ☐ Boundary setbacks
- ☐ Building outline and extent of overhangs
- ☐ Location of adjacent buildings showing habitable room windows
- ☐ Driveway and pathways and material finishes
- ☐ 90mm PVC Pipe under the driveway
- ☐ Location, height and construction of all fences
- ☐ Location of solar panels
- ☐ Location of tap
- ☐ Proposed cut and fill (if applicable)
- ☐ Retaining walls (if applicable)
- ☐ Any structures including (but not limited to) outbuildings, sheds, pergolas, gazebos, pools etc.
- ☐ Letterbox

Floor Plan (1:100 scale) showing:

- ☐ Room names and areas
- ☐ Internal and external dimensions
- ☐ Location of meter box
- ☐ Location of hot water tank
- ☐ Location of Fibre To The Home patch panel

Elevations (1:100 scale) showing:

- ☐ Of all sides of the building
- ☐ Indication of existing and proposed floor and site levels
- ☐ Location and extent of proposed materials and colours
- ☐ Position of solar panels, air conditioning/evaporative cooling units, satellite dishes and aerials
- ☐ Roof pitch and heights

Materials and colour schedule

- ☐ Walls; Roof; Trim inc. Gutter, Fascia etc; Garage Door; Front Door, Render; Other Façade Elements e.g. feature beams; stone stacks etc; Driveways/Paths; Meter box; Air-conditioning/Evaporative cooling Units; Letterbox
- ☐ Photograph and or manufacturers brochure for the proposed letterbox

16. APPLICATION FOR LANDSCAPE DESIGN APPROVAL

The following checklist will ensure that your garden design is processed and developed in a timely manner.

Complete and attach a scanned copy of this checklist to your application to the Modeina DRP. Your application is to be submitted online to: **modeinadrp@denniscorp.com.au**

If your garden design selection is supported and you meet the pre-installation requirements the DRP will endeavour to notify you within 10 business days.

Anticipated date of Certificate of Occupancy:

.....

Owner to complete

I / We certify that the information in the attached application is a true

Signed

Name in print

Date

Garden Checklist

Name:

Lot number & street:

Date of Occupancy Permit:

Allotment Particulars

- Dwelling construction completed ☐
- Has all rubbish, rubble and weeds, vegetation etc. been removed from your front garden area ☐
- Driveway complete - Driveway width matching width of crossover ☐
- Any footpath/pathway leading to the entry door or any paths in the front area ☐
- Suitable grade has been provided across all areas to be landscaped ☐
- Contemporary column design letterbox installed ☐
- Fencing completed ☐

Irrigation Particulars

- 90mm PVC stormwater pipe has been installed under driveway, offset 1m from front title boundary for irrigation connection ☐
- Garden tap and electrical point ☐
- Connection from the tap to the Front Building Line with 25mm PVC irrigation pipe ☐

Garden Particulars

Garden Design selected (include 1st and 2nd preference):

- | | |
|---|---|
| Classic Garden Design Option 1 <input type="checkbox"/> | Classic Garden Design Option 2 <input type="checkbox"/> |
| Formal Garden Design Option 1 <input type="checkbox"/> | Formal Garden Design Option 2 <input type="checkbox"/> |
| Organic Garden Design Option 1 <input type="checkbox"/> | Organic Garden Design Option 2 <input type="checkbox"/> |
| Layered Garden Design Option 1 <input type="checkbox"/> | Layered Garden Design Option 2 <input type="checkbox"/> |

Additional Comments:

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