



ANOTHER DENNIS FAMILY COMMUNITY




Siting & Design Guidelines

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MASTERPLAN

-  Lots covered by the Precinct Two Modeina Siting and Design Guidelines
-  Medium Density lots not covered by the Precinct Two Modeina Siting & Design Guidelines
(subject to further planning approvals)
-  Lots covered by the Precinct One Modeina Siting and Design Guidelines



1. URBAN DESIGN GUIDELINES

1.1 Vision for Modeina

Offering a unique lifestyle to all those lucky enough to be part of the Modeina community, this development has been designed as a contemporary expression of a modern lifestyle – balancing smart urban amenity with traditional family values.

The Modeina community will eventually be 3,000 strong. Residents will enjoy walking and relaxing around nearly 2.5 kilometres of natural creek frontage, gathering at the park and social areas, and tending gardens and homes designed and built to the highest standards. From beginning to end, Modeina is set to be the very essence of a modern Australian lifestyle.

1.2 Aim of the Design Guidelines

The aim of the guidelines is to achieve a high standard of housing design with an identifiable degree of visual cohesion.

All development at Modeina must comply with these guidelines. In exceptional circumstances variations to the guidelines will be considered provided that there is a positive contribution to the Modeina vision.

A registered Memorandum of Common Provisions (MCP) is applicable to all lots at Modeina. The MCP will simplify the process of securing building approval by putting in place a common set of rules that will take precedence over certain sections of the Building Regulations.

The MCP will remove your obligation to secure Report and Consent approval from the City of Melton for certain design items that do not comply with the Building Regulations.

All purchasers of lots must have their plans approved by the Design Review Panel (DRP) whose approval may be withheld in its absolute discretion notwithstanding compliance with the guidelines.

The DRP will provide information and advice to purchasers at Modeina regarding the application of the guidelines. Early contact with the Panel is recommended and will avoid unnecessary delay caused by non-compliance with the guidelines. In particular, advice can be provided at the initial concept plan stage and at the preliminary selection of materials, colours and finishes stage.

Only a Registered Building Surveyor can issue a building permit and building approval can only be granted on the plans approved by the DRP.

The DRP reserves its rights to withdraw approval if changes to the design, materials and colour schedule are not submitted to the DRP for approval and the home is not constructed in accordance with the DRP approved plans.

As required in your contract of sale, house construction must commence within 12 months of settlement of your purchase and be completed within 12 months of commencement.

Modeina Siting and Design Guidelines and the MCP do not take the place of the Building Regulations and Planning Schemes.

Purchasers of lots at Modeina should contact their Registered Building Surveyor to ensure house designs comply with these requirements.

Purchasers should be aware that failure to construct in accordance with plans approved by the DRP will result in;

- a) Breach of the land sale contract with the vendor,
- b) Breach of covenants created in the Transfer of Land, and
- c) Breach of the Notice of Restriction created in the Plan of Subdivision

2. HOUSE AND FRONT GARDEN APPROVAL PROCEDURE

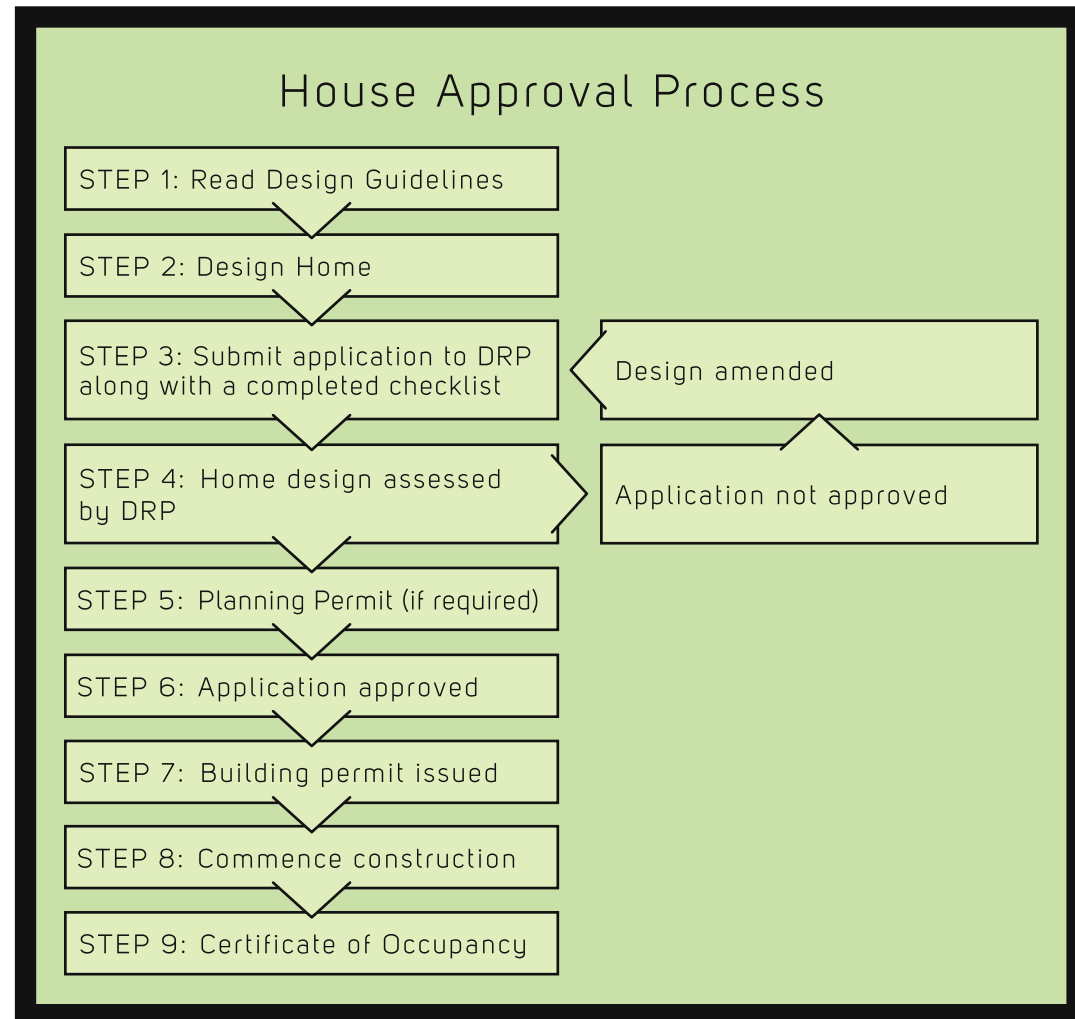
2.1 House Approval

House approval is at the discretion of the DRP.

No claims can be made against the Council, Burnside North Pty Ltd (BN) or their nominated representative with respect to any decision of the DRP or actions taken by purchasers in connection with the guidelines.

Construction of houses, fences and garages on any lot at Modeina cannot commence until the DRP has approved plans and building approval has been issued.

The process is illustrated in the diagram on the right.



2. HOUSE AND FRONT GARDEN APPROVAL PROCEDURE

2.2 Garden Approval

All landscaping within front gardens must comply with the design standards set out in section 13 of these guidelines.

We may offer a Front Garden Landscape Package at Modeina (The Garden Package). The Garden Package includes front landscaping and 12 months maintenance by a qualified landscape gardener appointed by the developer.

In cases where The Garden Package is not available or the purchaser chooses not to accept The Garden Package, you will be required to landscape your front garden at your cost within the timeframes outlined below.

The application process for approval of your front garden landscaping is illustrated in the diagram to the right. The approval process for your garden differs depending on whether you have accepted an offer of a Garden Package or you are undertaking the landscaping at your own cost.

Under The Garden Package you must select a garden design from the eight designs within the Garden Design Brochure. If your 1st preference is located adjacent or directly opposite a constructed or previously endorsed garden of the same style, your 1st preference may not be supported.

Front gardens must be installed within 90 days of the issue of the Certificate of Occupancy, unless this is issued between 1st November and

31st January in which case this landscaping must be completed by no later than 30th April (allowing for landscapes to be installed outside of the summer months).

2. HOUSE AND FRONT GARDEN APPROVAL PROCEDURE

Approval Process under the Garden Package

STEP 1: Select 1st and 2nd Garden Design Preferences

STEP 2: Submit preferences to DRP with application form and completed checklist
No later than 60 days prior to anticipated issue of occupancy permit

STEP 3: DRP endorses garden design

STEP 4: Compliance with design guidelines confirmed

STEP 5: Front garden landscaped

Approval Process for Gardens not landscaped by Burnside North Pty Ltd

STEP 1: Submit garden design to DRP with application form and completed checklist
No later than 60 days prior to anticipated issue of occupancy permit.
If you are selecting your garden from the Garden Design Brochure you must select your 1st and 2nd preference.

Design amended

STEP 2: DRP endorses garden design

Application not approved

STEP 3: Compliance with design guidelines confirmed

STEP 4: Application Approved

3. URBAN DESIGN PRINCIPLES

3.1 Building Envelopes

All lots are affected by a Building Envelope Plan. Details of the building envelopes are contained within the Plan of Subdivision. Development of lots must be in accordance with the Building Envelope Plan.

3.2 The Principle Street Frontage

The Principal Street Frontage is the frontage that the dwelling addresses. For lots with only one street frontage, the Principal Street Frontage shall be that frontage. For lots with two street frontages, the shorter street frontage shall be the Principal Street Frontage and the other street frontage the Secondary Street Frontage. If the two street frontages are of equal length then the purchaser should contact the DRP to determine which frontage shall be designated the Principal Street Frontage.

3.3 Architectural Style, Design and Materials

The design vernacular for Modeina is new Contemporary Australian. Designs mimicking period styles such as Edwardian, Federation, Colonial, Georgian, neo-classical, French Provincial and Victorian will not be approved. Second hand or kit homes will also not be approved.

All external walls including the façade addressing the Principal Street Frontage (Principal Façade)



Addison by Metricon.



Airlie by Boutique Homes.



Patan by Metricon.

must be constructed of contemporary materials such as face brickwork, rendered or bagged brick, metal cladding or such other material as approved by the DRP.

3.4 Principle Façade

The Principal Façade of the home is a key element that contributes to the vision of Modeina and accordingly, must demonstrate careful design and material composition. Period or decorative elements such as finials, fretwork, wrought iron, ornate timber works, turned posts etc. are not in keeping with Australian contemporary architecture and will not be permitted.

The Principal Façade must be articulated to prevent a flat and uninteresting interface with the public domain and comprise at least 2 different materials. Any one material cannot comprise more than 70% of the area of the Principal Façade. The use of render of different colours will not be deemed to satisfy this requirement.

Subject to the architectural design, eaves of at least 0.45 metres are required for the Principal Façade, including roofs above entrance porticos and the full length of the façade addressing the Secondary Street Frontage or public space. Eaves must wrap around the other corners

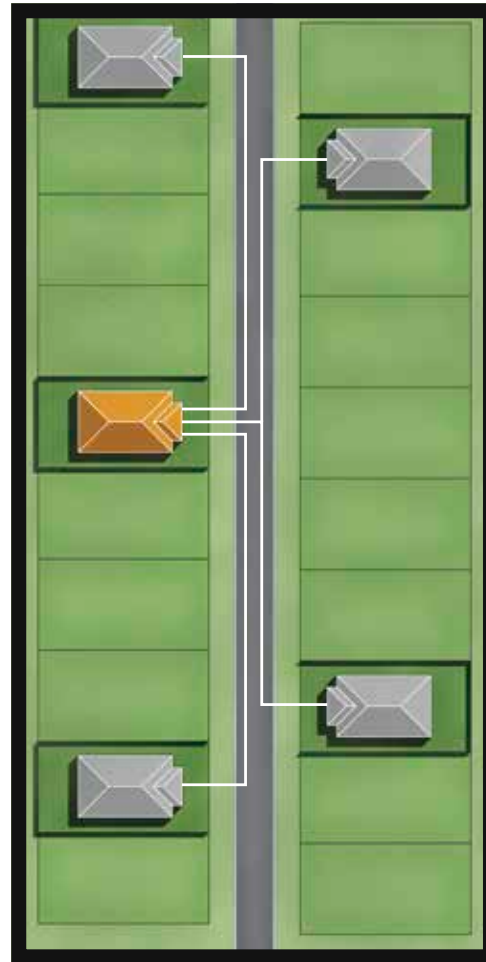
3. URBAN DESIGN PRINCIPLES

addressing the Principal Street Frontage by at least 3 metres and may impact on a habitable room window provided that they comply with the requirements of these guidelines and the MCP.

Where the dwelling incorporates a masonry façade, the window and door lintels and surrounds must be finished in the same masonry, and avoid the use of light-weight in fill panels. This applies to all sides of the building façade.

All houses must address the Principal Street Frontage and present a visible and identifiable entrance to the street. Habitable room windows should orientate to the Principal Street Frontages.

Features which may detract from the appearance of a house from the street, including small windows, obscure and or reflective, frosted or patterned film, window security shields, canvas and metal awnings, will not be approved. Roller shutters will be allowed on the front façade provided they are approved by the DRP and the colour and style complements the house colour/façade. Tinted glass on windows cannot be installed without prior approval of the DRP. Garages should be setback from the Principal Façade to limit the garage's visual dominance on the streetscape.



Dwellings must not be of the same or very similar within 3 lots of the orange house (either side or on the opposite side of the street).

As illustrated in the diagram here, façade designs that are the same or very similar to that of a home within 3 lots either side or on the opposite side of the street will not be approved.

Dwellings must not be of the same or very similar within 3 lots of the orange house (either side or on the opposite side of the street).

Where a conflict arises preference will be given to the first submitted set of plans.

This requirement may be varied on lots designated "Medium Density".

3. URBAN DESIGN PRINCIPLES

3.5 Roof Design

A minimum roof pitch of 22.5 degrees is required for two storey houses and associated garages.

A minimum roof pitch of 25 degrees is required for single storey houses and associated garages.

A reduced roof pitch will only be considered when part of an exceptional architectural design, or concealed behind a parapet wall.

Gable and skillion roof designs addressing the Principal Street Frontage will not be approved. Porticos with gable roofs may be considered when part of an exceptional architectural design.

Roof materials must be a matt finish shingle style or low profile cement or terracotta tile, slate, or matt finish powder coated metal. Shaped tiles such as those illustrated below will not be permitted.

Galvanised steel roofs will also not be permitted.



3.6 Number of Dwellings per Lot

Only one dwelling may be constructed on a lot.

3.7 Building Setbacks

Building setbacks vary and must comply with the Building Envelope Plan. Typical building setbacks are illustrated in the diagram to the right.

3.8 Front Setback

Unless otherwise shown on the Building Envelope Plan, a minimum setback of 4 metres is required between the Principal Street Frontage and the closest part of the house (Front Building Line). Porticos, balconies and feature projections will be permitted to encroach up to 1.5 metres within the front setback.

The maximum setback between the building line of the house and the Principal Street Frontage is 6 metres, unless otherwise approved by the DRP.

On corner lots, a setback of 2 metres to the Secondary Street Frontage unless shown otherwise on the Building Envelope Plan.

Garages must be set back a minimum of 5.5 metres from the Principal Street Frontage and at least 0.5 metres behind the Front Building



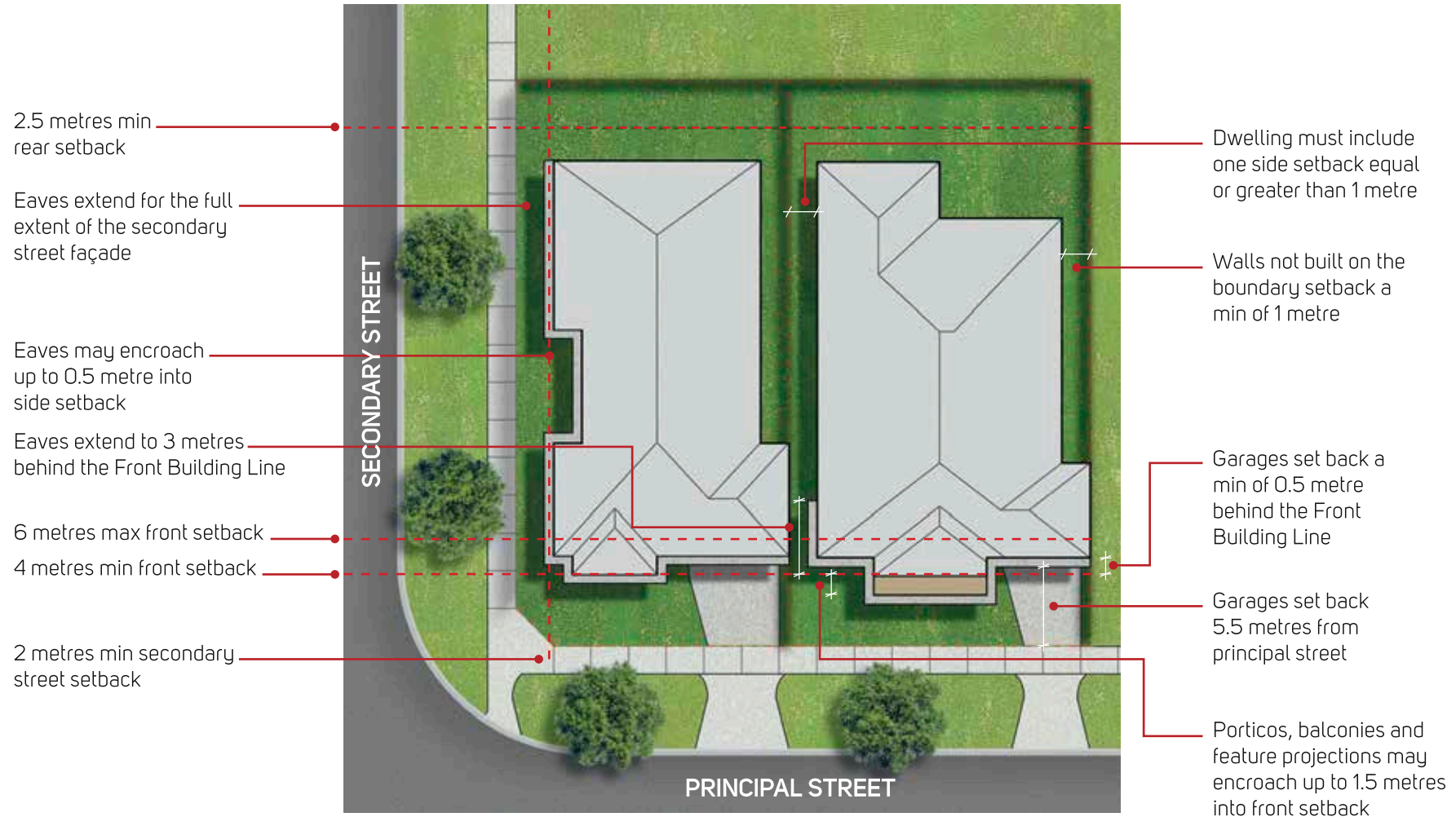
Feature projection as shown on the Plaza Grange by Porter Davis.

Line of the home unless the dwelling is 2 storey and incorporates a substantial balcony or is articulated at the second storey to the satisfaction of the DRP.

If these elements are incorporated, the garage may be permitted to be constructed in line with the predominant building line but no closer than 5.5 metres to the Principal Street Frontage. Under these circumstances, the balcony, verandah or portico will be permitted to encroach up to 1.5 metres, within the 5.5 metre setback.

The height of any approved encroachments into the setbacks may have a maximum height of less than 9.0 metres above natural ground level if the DRP considers in its absolute discretion that the height of the encroachment is acceptable.

3. URBAN DESIGN PRINCIPLES



3. URBAN DESIGN PRINCIPLES

3.9 Side and Rear Setbacks

Unless otherwise shown on a Building Envelope Plan the rear setbacks must be a minimum of 2.5 metres.

Garage and other walls which are not directly on a boundary are to be set back a minimum of 1 metre.

Sun blinds, shade sails, verandahs, porches, pergolas, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic water tanks, and heating or cooling equipment or other services may encroach up to 0.5 metres into the side setback.

Landings having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas and ramps may encroach into the side and/or rear setback subject at all times to any limitation associated with easements located within the Lot as well as the requirements of any party gaining the benefit of the easement.

Walls directly on boundaries may have a maximum height of 3.6 metres and are not to exceed 15 metres in total length (including garage walls) unless otherwise approved by the DRP.

Walls on boundaries are encouraged for garages in order to maximise the front garden area.

Where there is two or more side boundaries marked "O or 1" on the Building Envelope Plan, only one Side Boundary can be built to the boundary.



Central paths leading up to the main entry of the house to be a maximum of 1.2m wide.

3.10 Garages and Driveways

Each dwelling must have a garage capable of accommodating 2 cars. Carports are not permitted.

Garage doors are a major visual element of the streetscape. The architectural character of garages must be harmonious to the main body of the dwelling.

Garage doors must be;

- of a material and colour which complement the house, and
- slimline in profile and panel lift or sectional.

Garage doors must comply with the following maximum widths.



Principle Street Frontage width	Maximum garage doors widths
Less than 12.5 metres	2.6 metres
Between 12.5 metres and 14 metres	5.5 metres
14 metres or greater	6 metres

Note: If lot shape is irregular, the frontage measurement can be taken at a 4-6m setback from the front boundary. (Irregular Lots: Lots whereby a difference in front and rear boundary width occurs).

Garage doors that do not meet these requirements will only be approved in cases where the DRP deems that the Principal Façade is not negatively affected.

3. URBAN DESIGN PRINCIPLES

Two storey dwellings on lots less than 12.5 metres may include garage doors wider than 3.5 metres, but not greater than 5.5 metres, if the Principal Façade incorporates a substantial balcony or is articulated at the second storey to the satisfaction of the DRP.

The DRP will consider garage doors wider than 6 metres (including triple car garages) provided the frontage of the lot is equal to or greater than 18 metres and articulation additional to the requirements of section 3.7 such as an additional step of at least 0.5 metres to the front of the garage and a change to the roof form is provided.

3.11 Driveways and Parking

Only one driveway and crossover of maximum width 4 metres at the property boundary will be permitted for each lot.

Changes to the position of the driveway will be subject to service locations and require approval of the DRP (whose approval can be withheld in its absolute discretion) and the City of Melton.

Permission to relocate the driveway must be sought as part of the housing approval application under these Guidelines.

The purchaser is responsible for all costs associated with removing the existing crossover,

constructing the new crossover (including reinstating the landscaping in the affected area) and meeting any requirements of the City of Melton.

Driveways are a major element in the built environment and therefore the location, extent, material and colour of the driveway and any paths should be carefully considered so as to complement the Principal Façade of the house and the streetscape and be clearly identified on the plans submitted to the DRP for approval. Failure to provide this information could result in plans not being assessed or approved by the DRP.

Approved finishes include:

- Exposed aggregate concrete finishes, or
- Coloured concrete.

Plain uncoloured concrete will not be permitted.

Burnside North Pty Ltd will not commence landscaping under The Garden Package until the driveway is constructed.

The owner is to provide a 90mm PVC stormwater pipe 1 metre behind the road frontage for irrigation connection under the driveway (see diagrams on page 24 and 25)

The parking of commercial and utility vehicles including trucks, vans and trailers, boats and caravans are to be accommodated within or behind the garage and must not be visible from the street.

3.12 House Orientation and Solar Access

All dwellings must achieve an energy rating in accordance with current building regulations.

Where practicable, houses are to be sited to maximise the benefits of solar orientation. This may involve;

- Locating living spaces to the north of the dwelling to facilitate solar access in winter months
- Providing adequate shading to prevent summer solar access i.e. using retractable shading devices, trees, tinted glass etc
- Locating private open space to the north side of the allotment and avoid being located along a primary frontage
- Use a dwelling layout to enable main living areas to be separately heated and cooled.

3.13 Energy Efficiency

All dwellings should be developed with a focus on reducing energy needs and usage for homeowners.

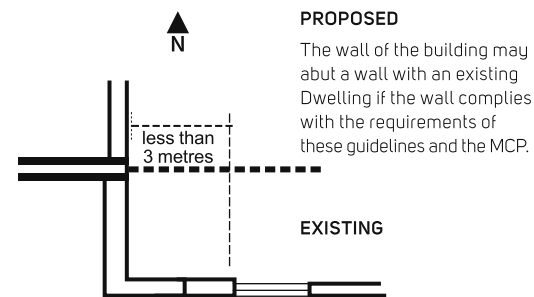
Each dwelling is encouraged to;

- achieve a minimum 6 Star
- use light fittings which make reductions in energy consumption
- use low emission paints and sealants on more than 95% of internal and external surfaces.

3. URBAN DESIGN PRINCIPLES

3.14 Solar Access to Existing North Facing Windows

Provided the building complies with the requirements of these guidelines and the MCP, the wall of a building may abut the wall of an existing Dwelling even if the Dwelling has a north-facing Habitable Room Window located within 3 metres of that boundary.



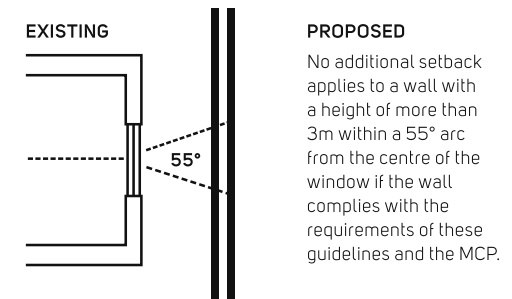
3.15 Daylight to Habitable Room Windows

Provided the building complies with the requirements of these guidelines and the MCP, and the eaves of the Dwelling on the Lot encroach into the Side Setback in accordance with the MCP.

The dimensions of the area of the outdoor space or light court that is clear to the sky is to be measured from the external surface of the Habitable Room Window of the Dwelling facing the outdoor space or light court (instead of from the eaves on the Dwelling that overhang that Habitable Room Window).

3.16 Daylight to Existing Habitable Room Windows

Provided that the wall complies with the requirements of these guidelines and the MCP, a wall that exceeds 3.0 metres in height can be located opposite a Habitable Room Window even though the setback from the window is not at least half the height of the wall if the wall is within the proximity as shown in the diagram below.



Wall setback from the window is not at least half the height of the wall.

4. CORNER LOTS

House façades on corner lots must comply with the requirements of section 3.4 and be designed to provide articulation to the roof and walls of the Secondary Street Frontage. The use of consistent architectural elements across these façades will be required.

Architectural elements used in the Principal Façade must be replicated within the first 4 metres of the Secondary Street Frontage. The use of wrap around verandahs will not be deemed to satisfy this requirement unless it can be shown that the verandah is an integral part of the design vernacular of the house.

Elements such as porticos, verandahs, and approved feature elements may encroach into the Secondary Street setback up to 1.5 metres.

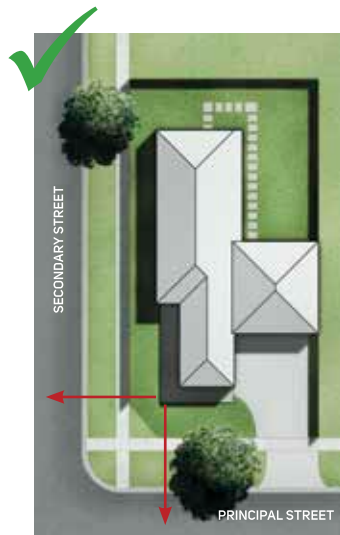
Habitable room windows must orientate to the Principal and Secondary Street Frontages. External services must not be visible from a street or a public space. The use of highlight windows should be avoided if possible.

Eaves are required for the full length of the building addressing the Secondary Street Frontage.

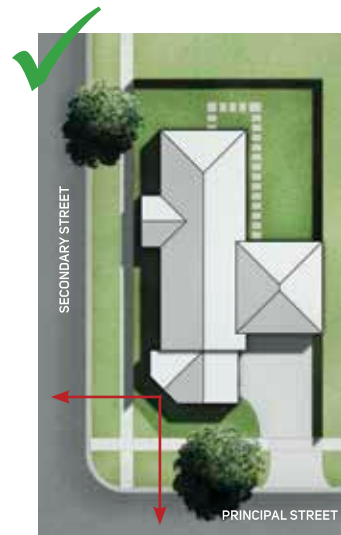
The main entry of the house must address the Principal Street Frontage.

The following diagrams illustrate acceptable and unacceptable corner solutions.

If in doubt about whether your house design will comply with corner lot requirements, it is strongly recommended that you submit a preliminary design to the DRP for comments and advice.



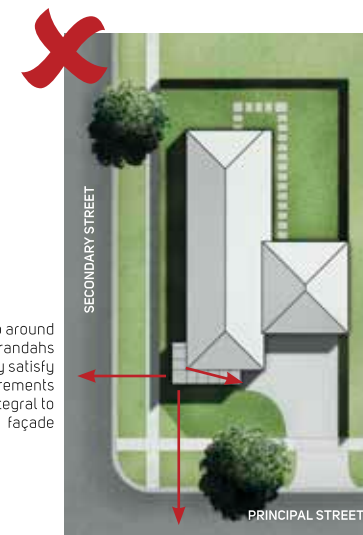
Design for a stepped façade



Angled and corner bay windows help address both street frontages



Flat façade does not address principal frontage.



Wrap around verandah

4. CORNER LOTS



Examples of dwellings with acceptable architectural treatment of Secondary Street Frontages on corner lots.

5. LANDMARK LOTS

Lots designated LL are Landmark Lots and present an opportunity to illustrate Modeina's unique lifestyle opportunity and the quality of the architecture and urban environment. These lots can be located on street corners, adjacent to park land or the Kororoit Creek or are simply highly visible from within and from outside the development.

Consequently, particular attention must be paid to the design and siting of housing on these lots.

In addition to any other requirement of these guidelines, the ground floor ceiling height must be at least 2.7metres for single storey dwellings.

Dwellings on LL must incorporate the following into the Principal Façade:

- A balcony addressing the Principal Street Frontage at the first floor level if the building is a 2 storey building
- Articulation with projected and recessed building elements, verandahs or awnings to create visual interest to buildings
- At least 3 different materials and any one material cannot comprise more than 70% of the area of the Principal Façade.

Dwellings on LL, where possible, should incorporate the following into the Principal Façade:

- Extensive windows at ground and first floor
- Living areas with large windows at either ground or first floor level if the building is a 2 storey building.

Corner lots, which are LL, must also comply with the requirement of section 4.

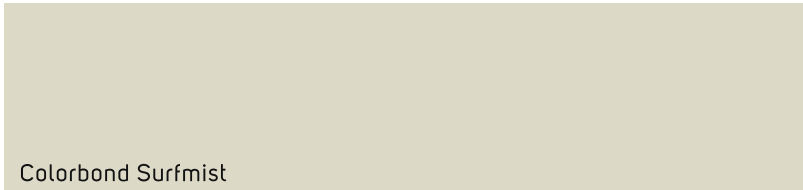


The Churchill by Dennis Family Homes.

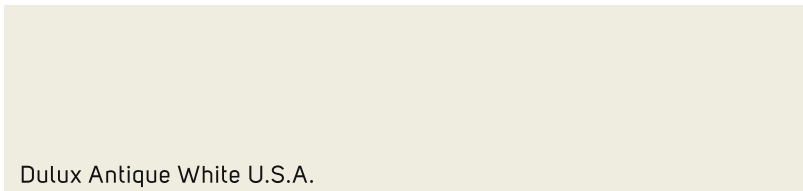
6. COLOUR PALETTE

Light Palette

Window Frames & Barge Boards



Walls



This section outlines a range of finishes considered to provide for individual colour selection yet maintaining harmony and cohesion within the streetscape.

The two palettes represent a light and medium selection of colours that can be combined. The DRP will consider additional colours outside of this range provided the design intent of Modeina is maintained. In both cases, colours for window frames and barge boards can be picked out to present highlights however, it is considered important that the external wall surfaces would be in the lighter palette colour range.

Roofs



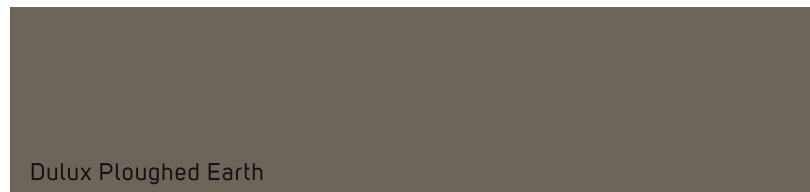
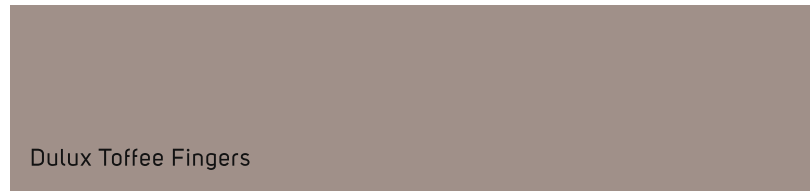
6. COLOUR PALETTE

Medium Palette

Window Frames & Barge Boards



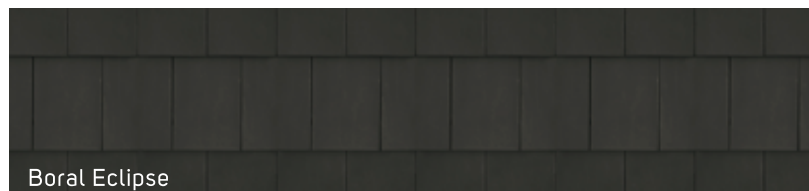
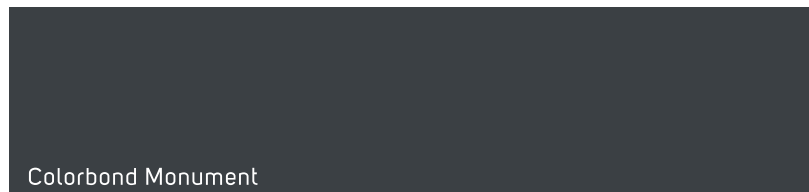
Walls



By setting the palettes in the light to mid range, there is scope for their broad interpretation across widely varying house types, resulting in a community that is visually cohesive and yet varied in its details and hues.

Darker roofs will anchor the buildings to the ground plane, blending a sense of dignity and smartness to the appearance of the development.

Roofs



7. FENCING & RETAINING WALLS

7.1 General

Fencing is the obligation of the lot owner and must be completed within 60 days of occupation.

In some cases, the Developer will construct Feature Fencing on lot boundaries that are highly visible from within and from outside the development. Feature Fencing is designated in the Building Envelope Plan.

Lot owners cannot remove or change the appearance of these fences without the written approval of both the DRP and the City of Melton and will be responsible for maintaining these fences in good order.

7.2 Retaining Walls

Retaining walls facing the Principal or Secondary Street Frontages cannot be constructed without the prior approval of the DRP.

Timber sleeper retaining walls are not permitted where their height exceeds 200mm and are visible from the street or public space. Materials permitted include bricks, rendered masonry and feature stone.

Retaining walls on or near the boundary and/or over 1m in height may be required to obtain a building permit.

7.3 Front Fences

No front fence is permitted.

7.4 Side and Rear Fences

Unless otherwise specified, all side and rear fences must be timber paling, capped and lapped with exposed 125mm by 125mm posts as illustrated and cannot exceed 1.98 metres in height. Side boundary fences must be setback 1 metre behind Front Building Line. Side wing fencing and gates must be consistent with the fence requirements.

7.5 Corner Lot Fences

On corner lots the fence along the Secondary Street Frontage must be setback from the Front Building Line by a minimum of 4 metres, comply with the side and rear fencing requirements and cannot form part of any retaining wall. This fence must conceal any hot water unit, heating, air conditioning or other plant and equipment.

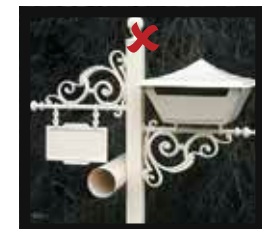
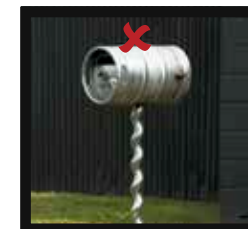


8. LETTERBOXES

Letterboxes must be positioned on the front boundary adjacent to the driveway clear of obstructions with the house number clearly displayed. It must be a contemporary rendered column design that should be carefully selected to complement the Principal Façade of the house.

Temporary, single post supported or ornamental letterboxes comprised of multiple materials will not be permitted.

The location, style and colour of the letterbox must be provided on the house plans submitted for approval. Installation of a compliant letterbox will be required for landscaping to commence.



9. EXTERNAL FIXTURES AND SERVICES

The position of the following external fixtures must achieve the objective stated below and be shown on plans submitted for approval.

9.1 Clotheslines and Garden Sheds

Clotheslines and garden sheds must not be visible from the street or public spaces.

9.2 Roof Mounted Solar Hot Water and Photovoltaic Panels

These panels must not be mounted facing the Principal Street Frontage. However, on corner lots panels may be located on the roof facing the Secondary Street Frontage.

9.3 External Hot Water Services and Ducted Heating Units

These units must not be visible from the street or a public space.

9.4 Television Antennae

Television antennae must be located within the roof of the house.

9.5 Satellite Dishes

Satellite dishes must not be visible from the street or other public spaces.

9.6 Air-conditioning and Evaporative Cooling Units

Air-conditioning units must be located below the eaves line, screened from public view and be suitably baffled to reduce noise.

Evaporative cooling units must be located below the roof ridgeline and at the rear of the house, be low profile /sloping base roof and the colour must match the roof colour.

9.7 Irrigation and Water Tanks

All lots are to have at least a 3000 litre water tank installed and connected to the front garden. Water tanks must not be visible from the street or other public spaces. The tank must be shown on the house plans submitted to the DRP for building approval

The below elements must be provided by the owner and form part of the compliance requirements for landscaping;

- A bucket garden tap and electrical point next to the water tank;
- Connection from the tank to the Front Building Line 25mm PVC irrigation pipe, and
- Pump and a timer with night function capability.

The tank may also be plumbed to the house, in addition to the front garden. As well as the above requirements, where the tank is to perform a dual purpose (plumbed to the house and used for irrigation) the home owner must provide a gate valve to connect the irrigation to the tank.

The owner is responsible for installing the irrigation system from the tank to the Front Building Line. Burnside North Pty Ltd will only be installing the irrigation for the front garden up to the Front Building Line.

9.8 Signage

The promotion of houses for sale and the advertising of builders during the construction of a house will be limited to one sign for each property unless the DRP gives prior approval.

10. TELECOMMUNICATIONS

Modeina will be provided with "fibre to the home" high speed broadband infrastructure via an agreement with OptiComm. This agreement, offers access to high speed broadband internet, telephone, digital "free to air" television and pay television as well as possible future services such as IPTV, home security, video on demand and more.

It is important to ensure that your home is capable of connecting to the OptiComm fibre

network and your home is wired to enable the delivery of the digital services available on the cable. Details on how to correctly wire your house and the process for arranging connection are available at www.opticomm.net.au.

Connection to a copper wire phone network is not available.

The fibre cable will be installed in the street however it is necessary for you to arrange for the extension of the cable to your house and

appropriate connection. This will require a wiring configuration which is consistent with these services and which may require a dedicated power supply for the telecommunications equipment.

11. MAINTENANCE AND BUILDER DEBRIS

Vacant allotments must be regularly maintained. This includes but is not limited to the following:

- Mowing of grass including nature strips/verges, including the Secondary Street Frontage of corner allotments;
- Removal of litter, rubbish and other debris.

The City of Melton Local Law for building sites requires all building debris to be contained within the property boundaries and within a refuse receptacle with a fixed, closed lid. You must ensure your builder complies with this Local law and empties them immediately they are full.



12. LANDSCAPING



The vision for Modeina emphasises the quality of the landscaped parks, streetscapes and gardens. Appropriate front garden design, material and plant selection therefore forms an integral part of the overall neighbourhood character and will ultimately improve the look and increase the value of your home.

12.1 Front Garden Landscaping

All landscaping within front gardens must comply with the design standards set out in section 13 of these guidelines.

Burnside North Pty Ltd may offer a Front Garden Landscape Package at Modeina (The Garden Package). The Garden Package includes front landscaping and maintenance by a qualified landscape gardener appointed by the developer.

In cases where The Garden Package is not available or the purchaser chooses not to accept the The Garden Package, you will be required to

landscape your front garden at your cost within the timeframes outlined below.

The same style of garden cannot be installed directly opposite or adjacent to each other. For example, a 'Classic' garden design cannot be located next to another 'Classic' garden design. Your 1st and 2nd preference must be submitted for endorsement by the DRP. If your 1st preference is located adjacent or directly opposite a constructed or previously endorsed garden of the same style, your 1st preference may not be supported.

Front gardens must be installed within 90 days of the issue of the Certificate of Occupancy, unless this is issued between 1st November and 31st January in which case this landscaping must be completed by no later than 30th April (allowing for landscapes to be installed outside of the summer months). You must select a garden design from the eight garden designs within the Garden Design Brochure.

12.2 Selecting a Garden Design

It is important to select a garden design that will be complementary to the style of your house. You should also pay attention to the house plan and the location of windows, porch and driveway, in order to maximize views and access, whilst allowing for screening and privacy and also ensure that all components such as paths and letterboxes can be accommodated within the design.

12.3 Landscaping Prerequisites and Timing

Prior to the installation of your front garden, the following should be considered:

- The construction of the house, has been completed in accordance with the Guidelines and the approved plans
- All rubbish, rubble, weeds and vegetation etc. has been removed

12. LANDSCAPING

- A level grade has been provided across all areas to be landscaped
- You have notified your builder of any proposed tree planting
- Installation of a 3000 litre water tank with a pump and a timer with night function capability
- Installation of a bucket garden tap and electrical point next to the water tank
- Connection from the tank to the Front Building Line via a 25mm PVC irrigation pipe
- A 90mm PVC stormwater pipe has been installed under the driveway, offset 1m from the front title boundary (for irrigation connection)

- Letterbox installed
- Fencing completed.

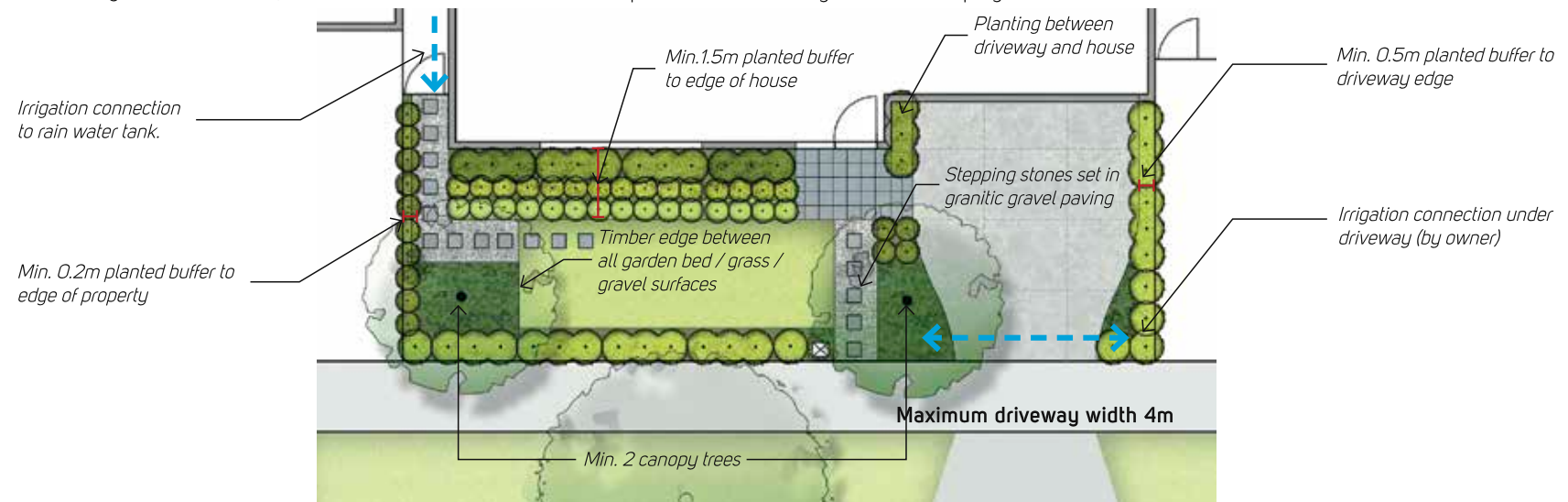
These requirements apply whether your garden is installed under the The Garden Package or done by the purchaser at their own cost. In the case of the later, the DRP will not approve your garden plan until the above requirements are satisfied.

As a general rule, construction of the front gardens will not be undertaken during the summer months.

Home owners will need to plan for and make arrangements for temporary access to their front gardens in the interim period between occupancy and completion of their front garden landscaping.

12.4 Naturestrips

The vision for Modeina is to achieve dynamic, lively and green streetscapes and therefore only grassed naturestrips will be permitted. The developer will seed naturestrips and seeding will occur once building activity has ceased to provide maximum opportunity for the seed to take.



Plan A: Standard Lot - typical minimum requirements (layout will vary depending on chosen design)

13. LANDSCAPE DESIGN STANDARDS

13.1 Minimum Garden Areas

All building designs and works must comply with the minimum garden areas requirements set out in the planning scheme (as amended from time to time) applicable to the lot.

13.2 Minimum Landscape Requirements

In addition to the minimum landscape requirements detailed in the following table, each front garden must have the following:

- 2 canopy trees (min. 1.5m high)
- Shrubs and groundcovers installed in accordance with the schedule (min. 150mm pot size diameter). Larger pot sizes may be used

- A 500mm planted buffer to the driveway edge
- 80mm depth of mulch to all garden beds (keep mulch away from base of plants)
- 200mm minimum depth of topsoil to garden beds; 100mm depth of topsoil to natural lawn areas (if lawn is used)
- An automatic irrigation system with timer connected to the 3,000 litre rain-water tank - refer to section 9.7
- Pre-grown warm season turf (Kikuyu species or approved equivalent)

- Approved letterbox design with house number attached - refer to section 8.

On the following pages, the Landscape Design Standards outline the approved materials, mulches, lawn and plants that can be used in your front garden.

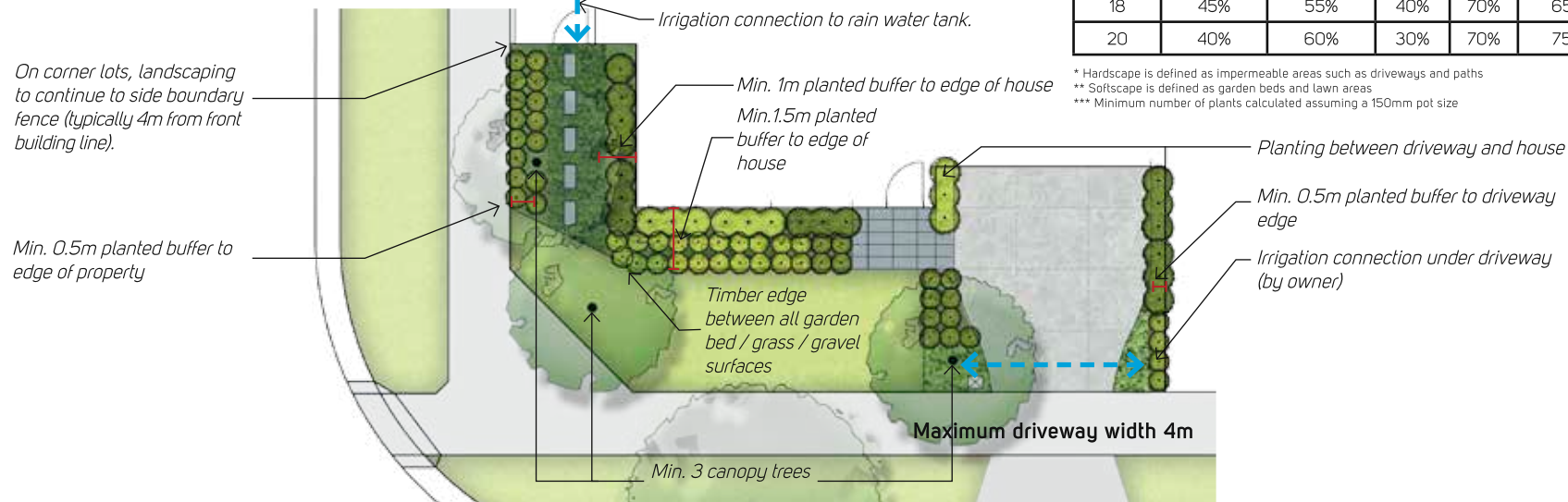
In addition to the above, the minimum requirements outlined in Plan A and Plan B below must be adhered to for all front gardens.

Lot Frontage	Hardscape*	Softscape**	Garden Beds	Lawn	Minimum No of Plants***
12.5	65%	35%	45%	55%	45
14	55%	45%	40%	60%	50
16	50%	50%	40%	60%	65
18	45%	55%	40%	70%	65
20	40%	60%	30%	70%	75

* Hardscape is defined as impermeable areas such as driveways and paths

** Softscape is defined as garden beds and lawn areas

*** Minimum number of plants calculated assuming a 150mm pot size



Plan B: Corner Lot - typical minimum requirements (layout will vary depending on chosen design)

13. LANDSCAPE DESIGN STANDARDS

13.3 Paths

Paths are to be composed of stepping stones set in granitic gravel or planting. Acceptable path materials are:

- Crushed granite (Granitic Gravel, Lilydale Toppings) - minimum 75mm compacted depth
- Precast concrete stepping stones - minimum 40mm depth
- Natural stone stepping stones - minimum 20mm depth
- Concrete matching the driveway

13.4 Mulches

A minimum 80mm mulch layer to garden beds helps to smother weeds and reduces water usage by decreasing evaporation. In the current climatic conditions, mulches are a sensible alternative to lawns. Acceptable mulch materials are as follows:

- Organic pine mulch in colours black or natural
- Natural coloured river pebbles with a size in the range of 100mm to 200mm.

Organic mulch should be recycled and sourced locally.

It should be relatively fine, free from contaminants, and dark or mid-brown in colour.



13. LANDSCAPE DESIGN STANDARDS

Notched Curved
Timber Edging



Curved timber edging must be notched to create a smooth curve

Straight Timber
Edging



32mm wide timber edging creates straight, neat lines

Brick
Edging



Brick, rock, concrete, plastic or other edging are not permitted

Concrete
Edging



13.5 Garden Edging

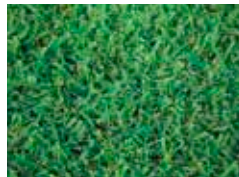
To keep the edges of the garden beds and paths neat and easy to maintain, appropriate edging must be installed such as 25mm thick timber edging because it will not warp and become unsightly over time or metal edging which can be manipulated to create interesting shapes.

13.6 Lawn

Lawn areas are to present in a neat and tidy manner with the lawn height to be kept between 40 and 75mm. Warm season lawn (pre-grown turf) such as 'Kikuyu' species (or approved equivalent) is preferred.

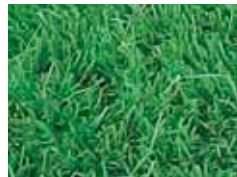
Artificial lawn which presents in a natural fashion with colour and height variation may be used provided it has been specifically approved by the DRP. If you are contemplating using artificial lawn it is strongly recommended that you provide a sample to the DRP for consideration as early as possible.

'Kikuyu'
Lawn



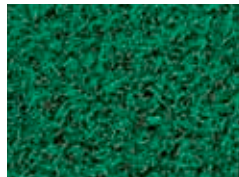
Kikuyu lawn is hardy, low maintenance and presents well throughout the year.

Natural Looking
Artificial Lawn



Artificial lawn with height and colour variation

Low Artificial
Lawn



Low height artificial lawn without height variation

Bright Coloured
Artificial Lawn



Bright coloured artificial lawn without colour variation

13.7 Irrigation

Each dwelling must have an automatic irrigation system in their front garden (including pump and timers etc. required in order for the system to function as designed). All irrigation systems must be drawn from the 3000L water tank system (by owner). Drip emitter irrigation systems within garden beds are preferred. The irrigation system should be set on a timer for minimum water use (night operation).

13.8 Tree spacing

All trees must be a min. 5m apart and a min. 2m from the house and 3m, where possible.

13. LANDSCAPE DESIGN STANDARDS

13.9 Approved Plant Species

The plant species selected for the Approved Plant Species List have been chosen for their hardiness, appropriateness to site (water requirements, soil, climate), seasonal interest and ability to complement and enhance the built form. Many of the plants are Australian natives which have the added advantage of attracting native birds.

KEY	BOTANICAL NAME	COMMON NAME	MATURE SIZE (H x W)	SPACING	ORIGIN	D/E
GRASSES & STRAPPY-LEAFED PLANTS						
ABP	Agapanthus 'Black Pantha'	Black Pantha African Lily	1 x 1	500 c/c	EX	E
ARC	Arthropodium cirratum	Matapouri Bay	0.85 x 1	400 c/c	EX	E
DCB	Dianella caerulea 'Breeze'	Breeze Flax Lilly	0.7 x 0.65	500 c/c	A	E
DLF	Dianella longifolia	Flax Lilly	0.8 x 0.8	500 c/c	A	E
LNy	Lomandra 'Nyalla'	Lomandra Nyalla	0.6 x 0.5	400 c/c	A	E
LLT	Lomandra 'Tanika'	Dwarf Lomandra	0.5-0.6 x 0.6	400 c/c	A	E
PPL	Pennisetum alopecuroides 'Purple Lea'	Fountain Grass	0.9 x 0.9	500 c/c	A	E
STR	Strelitzia reginae	Bird of paradise	1.8 x 1	750 c/c	EX	E



ABP



ARC



DCB



DLF



LNy



LLT



PPL



STR

FRONT GARDENS - APPROVED PLANT SPECIES LIST Note: EX = exotic, A = Australian native, D = deciduous, E = evergreen
c/c = centre to centre

13. LANDSCAPE DESIGN STANDARDS

KEY	BOTANICAL NAME	COMMON NAME	MATURE SIZE (H x W)	SPACING	ORIGIN	D/E
TREES (Installation size: 1.2-1.6m high).						
CYF	<i>Corymbia ficifolia</i> 'Wildfire'	Red Flowering Gum	5 x 3	Min 3m*	A	E
CFQ	<i>Corymbia ficifolia</i> 'Calypso Queen'	Dwarf Red Flowering Gum	5 x 4	Min 3m*	A	E
ECS	<i>Eucalyptus caesia</i> 'Silver Princess'	Silver Princess	7 x 3	Min 3m*	A	E
ERT	<i>Eleaocarpus reticulatus</i>	Bleberry Ash	6 x 3	Min 3m*	A	E
LAY	<i>Lagerstroemia indica</i> x <i>L. fauriei</i> 'Yuma'	Crepe Myrtle	3 x 4	Min 3m*	EX	D
LIN	<i>Lagerstroemia indica</i> 'Natchez'	Crepe Myrtle (white flower)	6 x 3	Min 3m*	EX	D
LIT	<i>Lagerstroemia indica</i> 'Tuscorana'	Crepe Myrtle (pink flower)	6 x 3	Min 3m*	EX	D
MCD	<i>Michelia doltsopa</i>	Wong-lan	12 x 4	Min 3m*	EX	E
MXS	<i>Magnolia x soulangeana</i>	Tulip Magnolia	6 x 5	Min 3m*	EX	D
MIP	<i>Malus ioensis</i> 'Plena'	Betchel Crab Apple	4 x 3	Min 3m*	EX	D
MLG	<i>Magnolia</i> 'Little Gem'	Little Gem Magnolia	4 x 1.5	Min 3m*	EX	E
PCC	<i>Pyrus calleryana</i> 'Capital'	Ornamental Pear	11 x 3	Min 3m*	EX	D
PSR	<i>Prunus subhirtella</i> rosea	Weeping Cherry	3 x 4	Min 3m*	EX	D
PWG	<i>Pyrus calleryana</i> 'Winter Glow'	Winter Glow Pear	10 x 5	Min 3m*	EX	D
TTL	<i>Tristaniaopsis laurina</i> 'Luscious'	Kanooka	6 x 4	Min 3m*	A	E



CFQ



CYF



ECS



ERT



LAY



LIN



LIT



MCD



MXS



MIP



MLG



PCC



PSR



PWG



TTL

FRONT GARDENS - APPROVED PLANT SPECIES LIST Note: EX = exotic, A = Australian native, D = deciduous, E = evergreen

* And no closer than 2m to edge of building. If planting trees with roots likely to exceed 2m in diameter, please consult your builder to ensure the footings of your home are adequately protected.

13. LANDSCAPE DESIGN STANDARDS

KEY	BOTANICAL NAME	COMMON NAME	MATURE SIZE (H x W)	SPACING	ORIGIN	D/E
SMALL SHRUBS/GROUNDCOVERS						
CDB	Correa 'Dusky Bells'	Dusky Bells Correa	0.7 X 1	500 c/c	A	E
BXE	Buxus sempervirens 'Blauer Heinz'	Blauer Heinz English Box	0.5 x 0.5	400 c/c	EX	E
DLJ	Dianella caerulea 'Little Jess'	Blue Flax Lily	0.3-0.4 x 0.3	300 c/c	A	E
JNC	Juniperus conferta	Shore Juniper	0.6 x 1	500 c/c	EX	E
LLK	Lomandra longifolia 'Katrinus'	Mat Rush	0.7 x 0.7	500 c/c	A	E
MPP	Myoporum parvifolium	Creeping Boobialla	0.2 x spreading	500 c/c	A	E
OPJ	Ophiopogon japonicus	Black Mondo Grass	0.2 x 0.2	300 c/c	EX	E
TRJ	Trachelospermum jasminoides	Chinese Star Jasmine	0.4 x spreading	500 c/c	EX	E
VNM	Vinca minor	Periwinkle	0.1 x spreading	500 c/c	EX	E



CDB



BXE



DLJ



JNC



LLK



MPP



OPJ



TRJ



VNM

FRONT GARDENS - APPROVED PLANT SPECIES LIST Note: EX = exotic, A = Australian native, D = deciduous, E = evergreen

c/c = centre to centre

14. COMPLIANCE WITH THE GUIDELINES

14.1 Acknowledgement

The purchaser acknowledges that they have received a copy and read the Modeina Siting & Design Guidelines and the Memorandum of Common Provisions and agree to comply with all terms & conditions of the Modeina Siting and Design Guidelines and the Memorandum of Common Provisions.

14.2 Construction of Your Dwelling

In order to ensure the orderly development of the estate, the purchaser is obligated under the contract of sale to build a dwelling on the land with construction to be commenced (evidence of footing or slab) within 12 months of settlement and completed (evidence of Occupancy Permit) within 12 months of the commencement of construction.

14.3 Non Compliance

The purchaser further acknowledges that Burnside North Pty Ltd may make offers to purchasers regarding garden construction and may withdraw such offers if the following conditions are not met:

- A copy of the Certificate of Occupancy not has been provided to the DRP
- The home was not commenced and completed in accordance with the terms of the land sale contract or as otherwise agreed
- Your home and landscaping including water tank, irrigation and pump, driveways, paths, fences and letter box has not been constructed in accordance with the Modeina Siting and Design Guidelines and/or the plans approved by the DRP
- Construction waste has not been removed from any adjacent lots and public areas and any damage to public assets such as footpaths, trees, kerbs, light poles, street signs, nature strips, services resulting from the construction of your home has not been rectified.

.....
Purchaser's name

.....
Purchaser's signature

Date:

15. APPLICATION FOR HOUSE DESIGN APPROVAL

Special provisions apply to the siting and design of houses at Modeina. The following checklist will ensure that your house complies with the guidelines and any variations are clearly identified for consideration by the DRP.

Complete and attach a scanned copy of this coversheet and checklist to your application to the Modeina DRP.

Modeina allotment details

Lot Number

Street

Owner details

Full name

Mailing address.....

.....

.....

Phone BH.....

Mobile.....

Email.....

Builders Details

Contact name

Company.....

Mailing address.....

.....

.....

Phone

Email.....

Design Details (if applicable)

House type

Façade type

Owner to complete

I / We certify that the information in the attached application is a true and accurate representation of the home I / We intend to construct. In the event that changes are made to the proposed plans, I / We undertake to resubmit this application for approval of such changes.

Signed

Name

Date

A set of plans, the material and colour schedule & a fully completed checklist must be submitted online to: modeinadrp@denniscorp.com.au

The DRP at Modeina welcomes inquiries about your housing design for Modeina and encourages you to discuss your preliminary plans to avoid unnecessary delay due to non-compliance.

All house plans at Modeina require approval from the DRP.

If your plans meet the Siting and Design Guidelines, you can expect your plans to be approved by the DRP within 10 business days.

Additionally, building approval will be required from a Registered Building Surveyor.

Contact details of your Registered Building Surveyor along with a copy of your building approval (including plans) are to be provided to the DRP no later than 5 business days prior to the commencement of works.

15. APPLICATION FOR HOUSE DESIGN APPROVAL

To be submitted with the Design Approval Form,
Site Plan (1:200 scale) showing:

A completed checklist of below items

- ☐ Street address and lot details
- ☐ Property boundaries and easements
- ☐ Finished floor levels
- ☐ Private open space
- ☐ North point
- ☐ Building envelope
- ☐ Boundary setbacks
- ☐ Building outline and extent of overhangs
- ☐ Location of adjacent buildings showing habitable room windows
- ☐ Driveway and pathways and material finishes
- ☐ 90mm PVC Pipe under the driveway
- ☐ Location, height and construction of all fences
- ☐ Location of solar panels
- ☐ Location of 3,000 litre rain water tank
- ☐ Proposed cut and fill (if applicable)
- ☐ Retaining walls (if applicable)
- ☐ Any structures including (but not limited to) outbuildings, sheds, pergolas, gazebos, pools etc.
- ☐ Letterbox

Floor Plan (1:100 scale) showing:

- ☐ Room names and areas
- ☐ Internal and external dimensions
- ☐ Location of meter box
- ☐ Location of hot water tank
- ☐ Location of Fibre To The Home patch panel

Elevations (1:100 scale) showing:

- ☐ Of all sides of the building
- ☐ Indication of existing and proposed floor and site levels
- ☐ Location and extent of proposed materials and colours
- ☐ Position of solar panels, air conditioning/evaporative cooling units, satellite dishes and aerials
- ☐ Roof pitch and heights

Materials and colour schedule

- ☐ Walls; Roof; Trim inc. Gutter, Fascia etc; Garage Door; Front Door, Render; Other Façade Elements e.g. feature beams, stone stacks etc; Driveways/Paths; Meter box; Air-conditioning/Evaporative cooling Units; Letterbox
- ☐ Photograph and or manufacturers brochure for the proposed letterbox

16. APPLICATION FOR LANDSCAPE DESIGN APPROVAL

The following checklist will ensure that your garden design is processed and developed in a timely manner.

Complete and attach a scanned copy of this page and checklist to your application to the Modeina DRP. Your application is to be submitted online to: modeinadrp@denniscorp.com.au

If your garden design selection is supported and you meet the pre-installation requirements you can expect to be notified within 10 business days.

Anticipated date of Certificate of Occupancy:

.....

Owner to complete

I / We certify that the information in the attached application is a true

Signed

Name in print

Date

Garden Checklist

Name:

Lot numbers & street:

Date of Certificate of Occupancy:

Allotment Particulars

House construction completed ☐

Has all rubbish, rubble and weeds, vegetation etc. been removed on your front garden area ☐

Driveway complete - Driveway width matching width of crossover ☐

Any footpath/pathway leading to the entry door or any paths in the front area
- width to be between 1.0 to 1.2m ☐

Suitable grade has been provided across all areas to be landscaped ☐

Rendered column design letterbox ☐

Fencing completed ☐

Irrigation Particulars

190mm PVC stormwater pipe has been installed under driveway, offset 1m
from front title boundary for irrigation connection ☐

3000L Water tank and pump and timer installed - Garden bucket tap available ☐

Connection from the tank to the Front Building Line 25mm PVC irrigation pipe ☐

Garden Particulars

Garden Design selected (include 1st and 2nd preference):

Classic Garden Design Option 1 ☐ Classic Garden Design Option 2 ☐

Formal Garden Design Option 1 ☐ Formal Garden Design Option 2 ☐

Organic Garden Design Option 1 ☐ Organic Garden Design Option 2 ☐

Layered Garden Design Option 1 ☐ Layered Garden Design Option 2 ☐

Additional Comments:

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.....

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NOTES

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